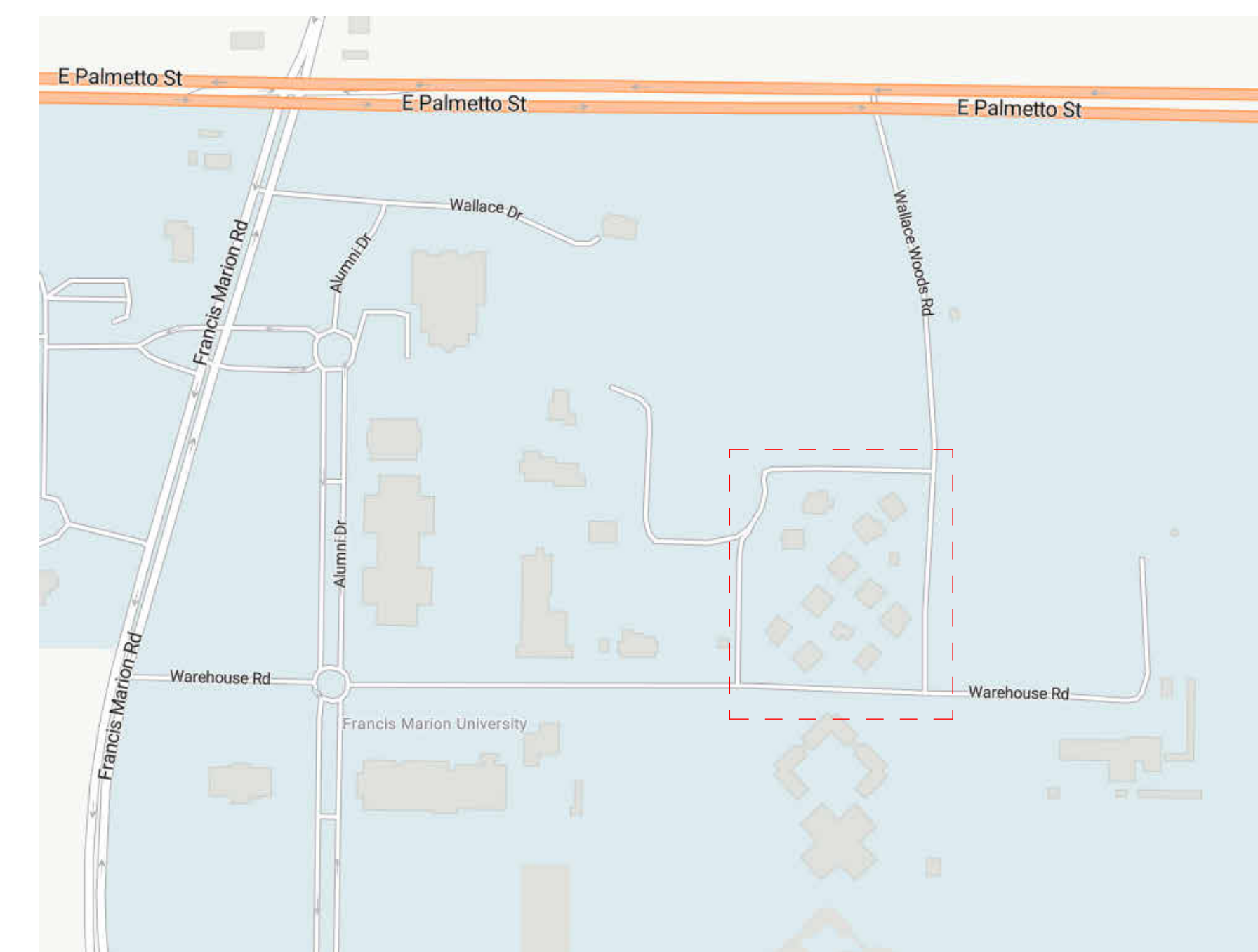
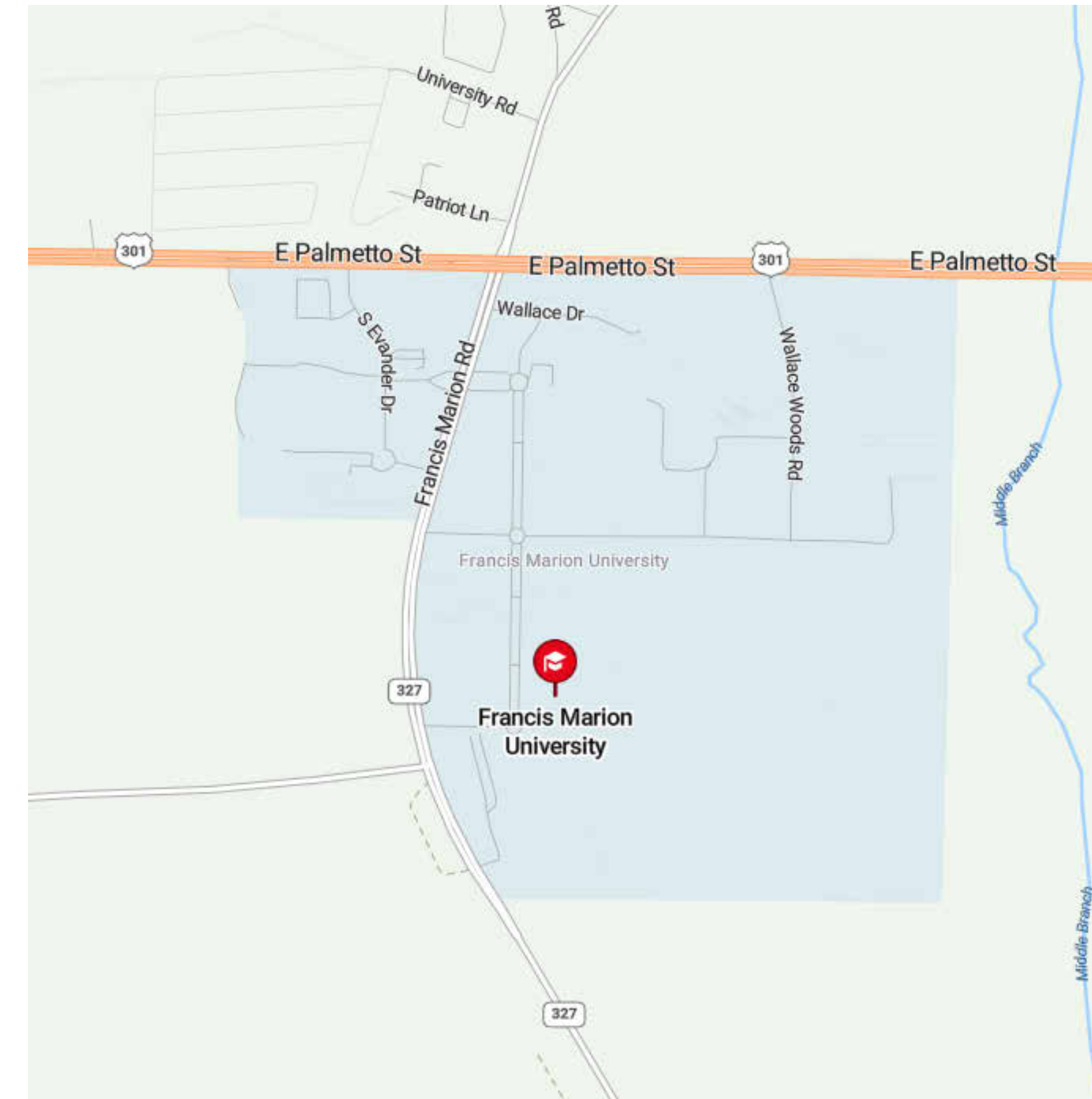


Village Apartments Interior Renovation, FMU

4822 E Palmetto St
 Florence, SC 29506

OSE COMMENTS - 02.21.2025



ISSUE FOR
 OSE COMMENTS

ISSUE DATE
 02.21.2025

| NO. | REASON | DATE |
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| 1 | OSE Comments | 02.21.2025 |

PROJECT TEAM
 PRINCIPAL IN CHARGE
 D BAUS
 PROJECT MANAGER
 S KERSCHEN
 DESIGN TEAM
 C TURNER
 PROJECT ENGINEER

Village Apartments Interior Renovation, FMU
 4822 E Palmetto St
 Florence, SC 29506

OSE PROJECT NUMBER - H18-N095-SG

PROJECT NO.
 4142197600

SHEET TITLE
 COVER SHEET

SHEET NUMBER
 CS

OWNER
 Francis Marion University
 4822 E. Palmetto St.
 Florence, SC 29506

OWNER'S REPRESENTATIVE
 FMU - VP for Facilities
 + Construction
 4822 E. Palmetto St
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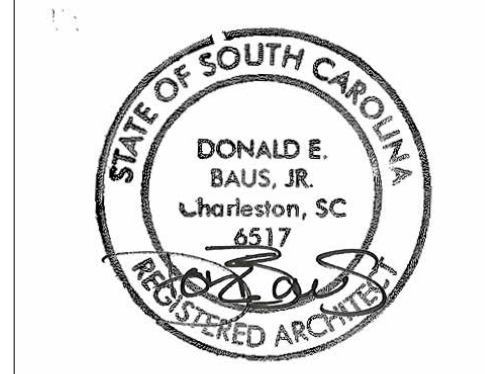
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| PROJECT TEAM | | |
|---------------------|------------|--|
| PRINCIPAL IN CHARGE | D BAUS | |
| PROJECT MANAGER | S KERSCHEN | |
| DESIGN TEAM | | |
| DESIGNER | C TURNER | |

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Village Apartments Interior Renovation, FMU
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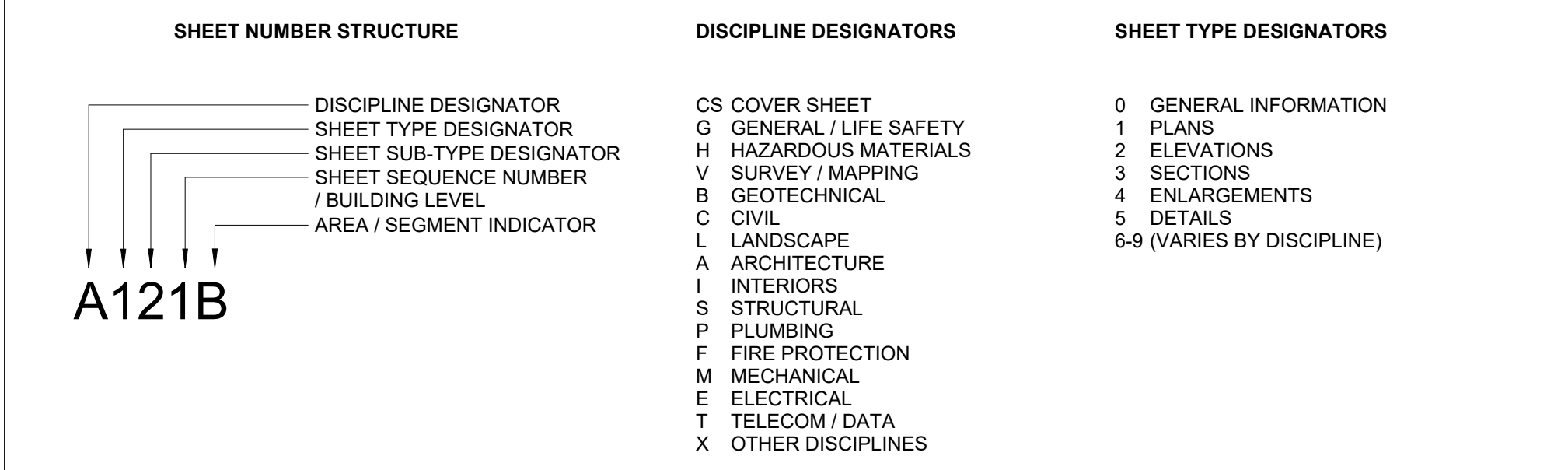
SHEET TITLE
GENERAL INFORMATION AND SHEET INDEX

SHEET NUMBER
G001

SHEET INDEX

| SHEET NUMBER | SHEET NAME |
|----------------------------|--|
| 00 COVER SHEET | COVER SHEET |
| 01 GENERAL/LIFE SAFETY | GENERAL INFORMATION AND SHEET INDEX |
| G001 | BUILDING CODE SUMMARY |
| G003 | SITE PLAN |
| G100 | LIFE SAFETY PLAN - LEVEL 01 |
| 04 ARCHITECTURE | |
| AD111.AB | DEMOLITION PLAN - 1BR AB - LEVEL 01 |
| AD111.C | DEMOLITION PLAN - 1BR C - LEVEL 01 |
| AD111.D | DEMOLITION PLAN - 4BR D - LEVEL 01 |
| A101.AB | OVERALL FLOOR PLAN - 1BR AB - LEVEL 01 |
| A101.D | OVERALL FLOOR PLAN - 4BR D - LEVEL 01 |
| A111.A | ENLARGED FLOOR PLAN, CEILING PLAN, & ELEVATIONS - 1BR A - LEVEL 01 |
| A111.B | ENLARGED FLOOR PLAN, CEILING PLAN, & ELEVATIONS - 1BR B - LEVEL 01 |
| A111.C | ENLARGED FLOOR PLAN, CEILING PLAN, & ELEVATIONS - 1BR C |
| A111.D | ENLARGED FLOOR PLAN, CEILING PLAN, & ELEVATIONS - 4BR D - LEVEL 01 |
| 08 PLUMBING/ 09 MECHANICAL | |
| MP001 | MECHANICAL & PLUMBING COVER SHEET & SCHEDULES |
| MP101.AB | MECHANICAL & PLUMBING OVERALL FLOOR PLAN - 1BR AB - LEVEL 01 |
| MP101.D | MECHANICAL & PLUMBING OVERALL FLOOR PLAN - 4BR D - LEVEL 01 |
| MP111.AB | MECHANICAL & PLUMBING ENLARGED FLOOR PLANS - 1BR AB - LEVEL 01 |
| MP111.C | MECHANICAL & PLUMBING ENLARGED FLOOR PLANS - 1BR C - LEVEL 01 |
| MP111.D | MECHANICAL & PLUMBING ENLARGED FLOOR PLANS - 4BR D - LEVEL 01 |
| MP501 | MECHANICAL & PLUMBING DETAILS |
| 10 ELECTRICAL | |
| E000 | ELECTRICAL COVER SHEET |
| E111.AB | ELECTRICAL PLANS - 1BR A/B |
| E111.C | ELECTRICAL PLANS - 1BR C |
| E111.D | ELECTRICAL PLANS - 4BR D |
| E500 | ELECTRICAL DETAILS |

SHEET NUMBERING LEGEND



SYMBOLS

| ARCHITECTURAL ELEMENTS | VIEW ELEMENTS | SITE & LOCATION ELEMENTS |
|---|--|--------------------------------------|
| ROOM NAME [101] | Level Name 0'-0" | ELEVATION DATUM POINT |
| ROOM NUMBER | DETAIL MARKER [2] A301 | COLUMN GRID AND GRID BUBBLES [AA] |
| DOOR NUMBER [2222] | SECTION MARKER [1] SIM A101 | NORTH ARROW |
| WALL TAG [A00A]X | EXTERIOR ELEVATION MARKER [1] AS.0.2B | ANNOTATIONS [00] SHEET KEYNOTE |
| ALUMINUM FRAMING SYSTEM TAG [AFS-20] | MATERIALS TAG [1] AS.0.2B | |
| WINDOW TAG [A] | INTERIOR ELEVATION MARKER [1] AS.0.2B | |
| TOILET ACCESSORIES TAG [X] | CEILING TYPE FINISH ELEVATION [ACT-1] 1'-0" | |
| EQUIPMENT TAG [E-1] | | |
| CARD READER [CR] | | |

ABBREVIATIONS

| Abbr. | Abbreviated Phrase | Abbr. | Abbreviated Phrase | Abbr. | Abbreviated Phrase |
|----------|----------------------------------|-------|--|----------|-----------------------------------|
| ACT | ACOUSTIC CEILING TILE | FOB | FACE OF BRICK | OFF | OFFICE |
| ADA | AMERICANS WITH DISABILITIES ACT | FOS | FACE OF GLASS | OH | OPPOSITE HAND |
| ADJ | ADJUSTABLE | FOS | FACE OF SHEATHING | OPNG | OPENING |
| AED | AUTOMATED EXTERNAL DEFIBRILLATOR | FR | FIRE RETARDANT TREATED (POLYMER) | PED | PEDESTAL, PEDESTRIAN, PEDIATRIC |
| AFF | ABOVE FINISH FLOOR | FRP | FIBERGLASS REINFORCED PLASTIC (POLYMER) | PERF | PERFORATE(D) |
| AL | ALUMINUM | FT | FOOT, FEET | PFB | PREFABRICATE(D) |
| ALT | ALTERNATE | FURR | FURR(ED), (ING) | PFN | PREFINISH(ED) |
| AMC | ACOUSTICAL METAL CEILING | FUT | FUTURE | PL_PLAM | PLASTIC LAMINATE |
| APC | ACOUSTICAL PANEL CEILING | FWC | FABRIC WALL COVERING | PLAS | PLASTER, PLASTIC |
| APPROX | APPROXIMATE | FWP | FABRIC WRAPPED PANEL | PLWD | PLYWOOD |
| ARCH | ARCHITECT(URAL) | GA | GAUGE | PNL | PANEL |
| ARP | ACRYLIC RESIN PANEL | GALV | GALVANIZED | PNT | PAINT(ED) |
| AWC | ACOUSTICAL WOOD CEILING | GB | GLASS BOARD | PR | PAIR |
| BBD | BULLETIN BOARD | GC | GENERAL CONTRACTOR | PT | PRESSURE TREAT(ED) |
| BD | BOARD | GL | GLASS, GLAZING | PTN | PARTITION |
| BO | BOTTOM OF | GR | GROUT | QT | QUARRY TILE |
| BOT | BOTTOM | GRAN | GRANITE | QZ | QUARTZ, ENGINEERED QUARTZ |
| CL_CL | CENTERLINE | GWB | GYPSPUM WALL BOARD | RB | RUBBER BASE |
| CAB | CABINET | GYP | GYPSPUM | RBT | RUBBER TILE |
| CC | CUBICLE CURTAIN | HC | HOLLOW CORE | REC | RECEPTACLE |
| CIR | CIRCLE | HD | HAND DRYER | REF | REFERENCE, REFER |
| CLS | CEILING | HDR | HEADER | REFR | REFRIGERATOR |
| CLOS | CLOSET | HDW | HARDWARE | REM | REMOVE |
| CLR | CLEAR(ANCE) | HGT | HEIGHT | REQD | REQUIRED |
| COL | COLUMN | HORIZ | HORIZONTAL(LY) | RM | ROOM |
| CON_CONC | CONCRETE | HR | HOUR | RS | RESILIENT |
| CONST | CONSTRUCTION | HVAC | HEATING, VENTILATION, AND AIR CONDITIONING | SR | SHELF AND ROD |
| CONTR | CONTRACTOR | HWD | HARDWOOD | SCW | SOLID CORE WOOD |
| COORD | COORDINATE | IBC | INTERNATIONAL BUILDING CODE | SECT | SECTION |
| CPT | CARPET | ID | INSIDE DIAMETER | SF | SQUARE FEET |
| CRB | COVERED RUBBER BASE | INCL | INCLUDE(D), (ING) | SFRM | SPRINKLER FIRE RESISTIVE MATERIAL |
| CT | CERAMIC OR PORCELAIN TILE | INSUL | INSULATE(D), (ING) | SHR | SHOWER |
| CTR | CENTER | INT | INTERIOR | SIM | SIMILAR |
| D | DRYER | JAN | JANITOR'S CLOSET | SPEC | SPECIFICATION(S) |
| DBL | DOUBLE | JT | JOINT | SS | STAINLESS STEEL |
| DEG | DEGREE | KIT | KITCHEN | SSM | SOLID SURFACE MATERIAL |
| DEMO | DEMOLISH / DEMOLITION | KPL | KICK PLATE | ST | STONE |
| DET_DTL | DETAIL | L | LENGTH | STD | STANDARD |
| DIA | DIAMETER | LAM | LAMINATE(D) | STOR | STORAGE |
| DM | DIMENSION | LBL | LABEL | SUSP | SUSPENDED |
| DR | DOOR | LCKR | LOCKER | SUSP_CLG | SUSPENDED CEILING |
| DS | DOWNSPOUT | LIN | LINOLEUM | SV | SHEET VINYL |
| DWG | DRAWING(S) | LVL | LAMINATED VENEER LUMBER | SYS | SYSTEM |
| DWN | DOWN | LVT | LUXURY VINYL TILE | TACK | TACK BOARD |
| DWR | DRAWER | MATL | MATERIAL(S) | TEMP | TEMPERED, TEMPORARY |
| EA | EACH | MAX | MAXIMUM | TME | TO MATCH EXISTING |
| ELEV | ELEVATION | MECH | MECHANICAL | TYP | TYPICAL |
| ELEC | ELECTRICAL | MFR | MANUFACTURE(R) | TZ | TERRAZZO |
| ELEV | ELEVATOR | MIN | MINIMUM | UNO | UNLESS NOTED OTHERWISE |
| EOS | EDGE OF SLAB | MISC | MISCELLANEOUS | VB | VINYL BASE |
| EP | EPOXY FLOORING | MP | METAL PANEL | VCT | VINYL COMPOSITE TILE |
| EQ | EQUAL(LY) | MTD | MOUNTED | VERT | VERTICAL(LY) |
| EQPT | EQUIPMENT | MTL | METAL | VIF | VERIFY IN FIELD |
| EW | EACH WAY | MULL | MULLION | VIN | VINYL |
| EW | ELECTRIC WATER COOLER | MWK | MILLWORK | VNT | VINYL TILE |
| EXIST | EXISTING | N | NORTH | VWC | VINYL WALL COVERING |
| EXP | EXPANSION | NIC | NOT IN CONTRACT | W | WIDTH |
| EXT | EXTERIOR | NO.# | NUMBER | W/ | WITH |
| FAAP | FIRE ALARM ANNUNCIATOR PANEL | NR | NOISE REDUCTION | W/O | WITHOUT |
| FACP | FIRE ALARM CONTROL PANEL | NRC | NOISE REDUCTION COEFFICIENT | WB | WOOD BASE |
| FBD | FURNISHED BY OTHERS | NTS | NOT TO SCALE | WC | WATER CLOSET |
| FDC | FIRE DEPARTMENT CONNECTION | OC | ON CENTER | WD | WOOD |
| FE | FIRE EXTINGUISHER | | | WGT | WEIGHT |
| FEC | FIRE EXTINGUISHER CABINET | | | WIN | WINDOW |
| FF | FINISH FLOOR | | | WM | WALK-OFF MAT/ FLOORING |
| FIN | FINISHED | | | WTW | WALL TO WALL |
| FLR | FLOORING | | | | |
| FLUOR | FLUORESCENT | | | | |
| FO | FACE OF | | | | |

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE THE OWNER/CONTRACTOR AGREEMENT, THE PROJECT MANUAL, THE DRAWINGS AND ALL ADDENDA AND MODIFICATIONS ISSUED BY THE ARCHITECT.
- REVIEW DOCUMENTS AND VERIFY DIMENSIONS AND FIELD CONDITIONS WHEN APPLICABLE. CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF WORK.
- COMPLIANCE WITH INDUSTRY STANDARDS, METHODS OF CONSTRUCTION, AND INSTALLATION AND ERECTION OF ELEMENTS AND MATERIALS ARE THE CONTRACTOR'S RESPONSIBILITY.
- THE GC AND EACH SUBCONTRACTOR ARE CONTRACTOR IS REQUIRED TO BE FAMILIAR WITH THE ENTIRE SET OF THESE CONTRACT DOCUMENTS AND ARE IS RESPONSIBLE FOR COORDINATION OF THEIR WORK WITH OTHER TRADES. CORRECTIONS FOR UNCOORDINATED WORK WILL BE MADE AT THE CONTRACTOR'S EXPENSE.
- WORK NOTED "BY OTHERS" OR "NIC" SHALL BE PROVIDED BY OWNER OR UNDER SEPARATE CONTRACT.
- PROTECT AREAS ADJACENT TO WORK AREA FROM DAMAGE DURING CONSTRUCTION. PATCH AND REPAIR ALL DAMAGED AREAS TO MATCH ADJACENT FINISH AND ENSURE A SMOOTH SURFACE DO NOT SCALE DRAWINGS. ALL PARTITION LOCATIONS, DIMENSIONS, AND TYPES, AND ALL DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT. PARTITION PLAN SUPERSEDES OTHER PLANS.
- COORDINATE AND PROVIDE METAL OR RATED SOLID WOOD (FIRE TREATED) BLOCKING IN PARTITIONS AND CEILINGS FOR ALL WALL HUNG AND CEILING ATTACHED ITEMS INCLUDING MILLWORK, EQUIPMENT, AND FURNITURE. COORDINATE WITH OWNER AND VENDOR TO IDENTIFY LOCATIONS AND SIZES OF ITEMS PROVIDED/INSTALLED BY OTHERS.
- PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE OF GYPSPUM BOARD, UNLESS INDICATED OTHERWISE. DIMENSIONS MARKED "CLEAR", "HOLD", AND "MIN" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF FINISHES. COORDINATE THICKNESS WITH FINISH SCHEDULE, SPECIFICATIONS, AND DETAILS.
- COLUMN CENTER LINES, OR GRID LINES, ARE SHOWN FOR DIMENSIONING. VERIFY EXACT LOCATIONS IN FIELD.
- PROVIDE PARTITION TYPE WITH THE HIGHEST UL AND/OR ACOUSTICAL PERFORMANCE RATING WHERE MORE THAN ONE PARTITION TYPE IS INDICATED.
- "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- MATERIALS USED IN UL RATED ASSEMBLIES SHALL CONFORM TO REFERENCED STANDARDS.
- STENCIL BOTH SIDES OF UL RATED PARTITIONS ABOVE SCHEDULED CEILING WITH REQUIRED PROTECTION TEXT.
- NIRE STOP PENETRATIONS IN UL RATED ASSEMBLIES TO MAINTAIN/ACHIEVE LEVEL OF PROTECTION REQUIRED FOR ASSEMBLY TYPE. FIRE STOP ALONG PERIMETER OF RATED ASSEMBLIES WHERE VOIDS OCCUR. REFER TO UL DETAILS FOR MORE INFORMATION. GC SHALL NOTIFY THE ARCHITECT OF ANY PENETRATIONS TO RATED ASSEMBLIES NOT COVERED BY THE UL DETAILS PROVIDED IN THIS DRAWING SET AND PROVIDE DETAILS FOR ARCHITECT REVIEW PRIOR TO PROCEEDING WITH WORK.
- PROVIDE FIRE EXTINGUISHER CABINETS, SMOKE DETECTORS AND ALL OTHER LIFE SAFETY DEVICES AS REQUIRED BY CODE. PROVIDE DRAWING SHOWING LOCATION OF DEVICES FOR REVIEW PRIOR TO FRAMING OF WALLS. DO NOT PLACE IN FIRE RATED PARTITIONS.
- PROVIDE HOT AND COLD WATER LINES, SOIL, VENT LINES AND PRESSURE AND SHUTOFF VALVES AS REQUIRED IN ACCORDANCE WITH LOCAL BUILDING AND PLUMBING CODES FOR PLUMBING FIXTURES.
- COORDINATE SCHEDULE FOR TELEPHONE, DATA, SECURITY, AND AUDIO VISUAL INSTALLATIONS WITH TENANT AND OWNER.

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W:\Community\College and University\142052600 FMU Village Apartments Interior Renovation\2 Design\4 Drawings\Revit



Code Summary

Project Name: Village Apartments Interior Renovation, FMU
Address: 4822 E Palmetto St, Florence, SC 29506
Owner: Francis Marion University
Owner Contact: Ralph Davis - VP for Facilities + Construction
 4822 E. Palmetto St, Florence, SC 29506
 (843) 661-1101

Owned By: City / County Private State
Authority Having Jurisdiction (AHJ): City _____
 County _____
 State _____

Project Summary:
 New Construction Renovation (Existing) Uplift (First Generation)
 Alteration 1 2 3
 Proposed Use:
 Description:

Design Team:

| Primary | Designer | Firm | Name | Phone | Email |
|-----------------|----------|----------|--------------|---------------------------|-------|
| Architect | Little | Don Baus | 843.212.9768 | don.baus@littleonline.com | |
| Civil | N/A | | | | |
| Landscape | N/A | | | | |
| Structural | N/A | | | | |
| Plumbing | N/A | | | | |
| Mechanical | N/A | | | | |
| Electrical | N/A | | | | |
| Fire Protection | N/A | | | | |
| Fire Alarm | N/A | | | | |

Applicable Codes:

| | |
|---------------|---|
| Building: | 2021 South Carolina Building Code or the 2021 International Building Code with SC modifications '21 |
| Fire: | 2021 South Carolina Fire Code or the 2021 International Fire Code with SC modifications |
| Plumbing: | 2021 South Carolina Plumbing Code or the 2021 International Plumbing Code with SC modifications '21 |
| Mechanical: | South Carolina Mechanical Code or the 2021 International Mechanical Code with SC modifications 2021 |
| Fuel Gas: | South Carolina Fuel Gas Code or the 2021 International Fuel Gas Code with SC modifications 2021 |
| Electrical: | 2020 National Electrical Code (NFPA 70) with SC modifications |
| Energy: | 2009 International Energy Conservation Code (Energy Standard Act) |
| Accessibility | |

Building Data:

| | |
|--------------------|----------------------------|
| Bldg. Area: | Existing, No change. |
| Bldg. Stories: | Existing, No change. |
| Mezzanine: | N/A |
| Bldg. Height: | Existing, No change. |
| Construction Type: | Existing, No change. |
| Sprinklers: | Existing, Not sprinklered. |
| Standpipes: | |
| Fire District: | |
| Flood Zone: | |

Building Occupancy:

| | |
|------------------|-------------------|
| Occupancy: | Residential (R-2) |
| Mixed Occupancy: | |
| Notes: | |
| Allowed Height: | |
| Allowed Area: | |



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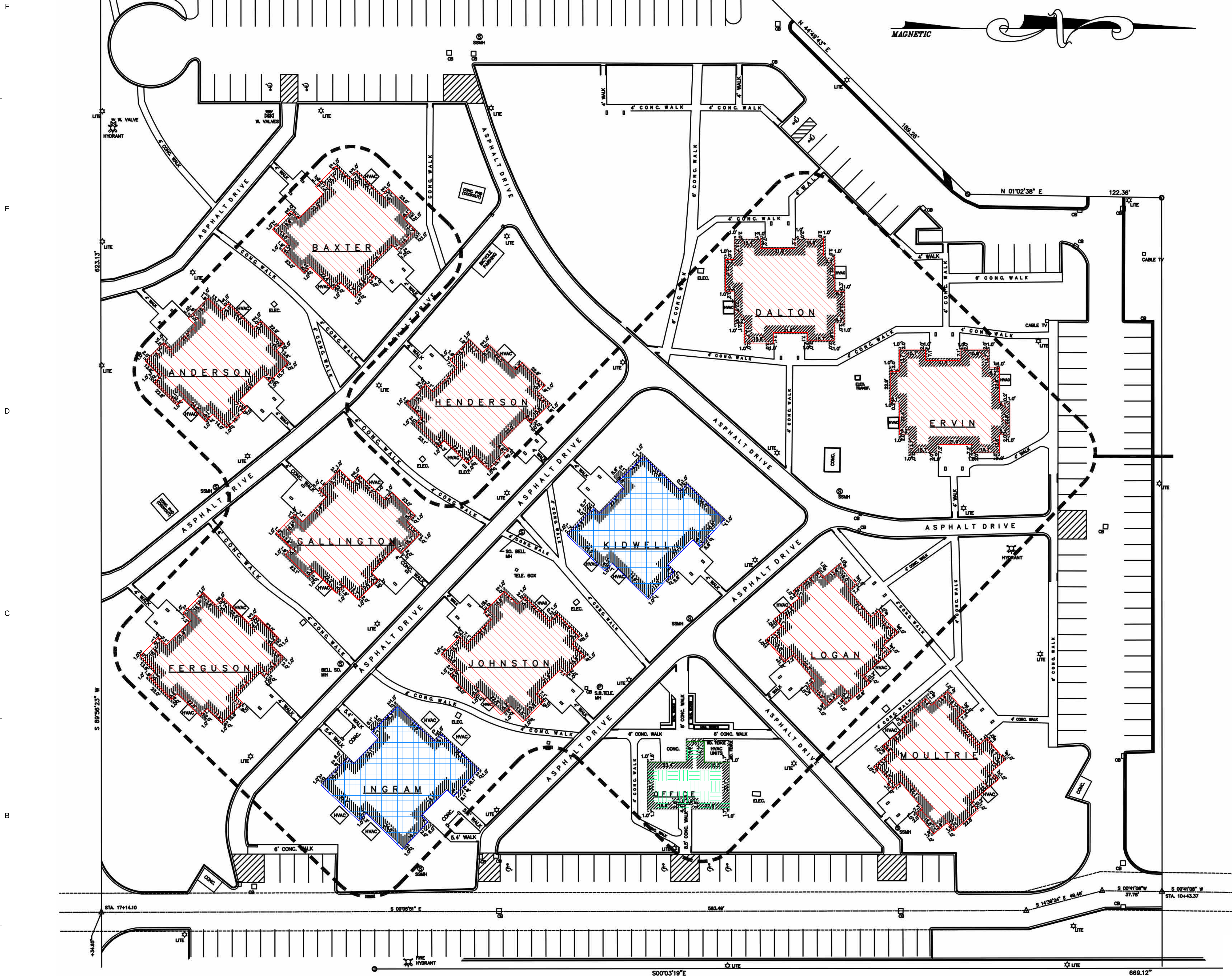
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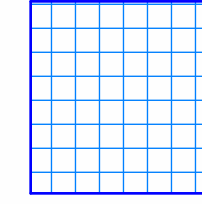
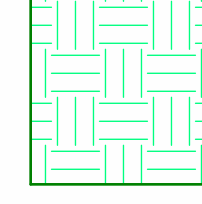
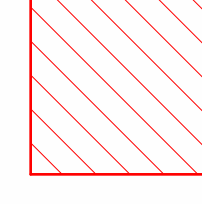
PROJECT NO.
4142197600

SHEET TITLE
BUILDING CODE SUMMARY

SHEET NUMBER
G002



BUILDING TYPE LEGEND

-  1BR.AB - 1 Bedroom Buildings
-  1BR.C - 1 Bedroom Large Building
-  4BR.D - 4 Bedroom Buildings

UNIT COUNTS (CONTRACTOR TO VERIFY)

- 1BR.A -** 8 units per building
2 buildings
16 total units
- 1BR.B -** 8 units per building
2 buildings
16 total units
- 1BR.C -** 1 unit
1 building
1 total units
- 4BR.D -** 8 units per building
10 buildings
80 total units

1A SITE PLAN
G003 NOT TO SCALE



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SHEET TITLE
SITE PLAN

SHEET NUMBER
G003

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F
E
D
C
B
A

| OCCUPANT LOAD | | | | |
|------------------------|-------------------------|------------|-------------------|---------------|
| DESCRIPTION | FUNCTION (USE) OF SPACE | AREA | Area per Occupant | OCCUPANT LOAD |
| R-2 | RESIDENTIAL (GROSS) | Not Placed | 200 SF | |
| R-2 | RESIDENTIAL (GROSS) | 916 SF | 200 SF | 5 |
| Area | RESIDENTIAL (GROSS) | 517 SF | 200 SF | 3 |
| Area | RESIDENTIAL (GROSS) | 475 SF | 200 SF | 3 |
| Area | RESIDENTIAL (GROSS) | 679 SF | 200 SF | 4 |
| LEVEL 01 OCCUPANT LOAD | RESIDENTIAL (GROSS) | 2588 SF | 200 SF | 15 |

LIFE SAFETY SYMBOLS

- 34" CLEAR OPENING WIDTH
- 0.2" CLEAR WIDTH PER OCCUPANT
- 170 ACTUAL OCCUPANT LOAD
- 75 PANIC HARDWARE
- ACCESS CONTROL DEVICE (E.G. CARD READER)
- REQUEST TO EXIT

- 34" CLEAR STAIR WIDTH
- 0.2" CLEAR WIDTH PER OCCUPANT
- 170 OCCUPANT CAPACITY
- 75 ACTUAL OCCUPANT LOAD

TRAVEL DISTANCE SHOWN: 000' EXIT EGRESS DISTANCE
 EXIT EGRESS COMMON PATH

TRAVEL DISTANCE SHOWN: 000' EXIT EGRESS DEAD END DISTANCE

DIAGONAL DISTANCE: 14'-0" OVERALL DIAGONAL DISTANCE

DISTANCE BETWEEN EXITS: 14'-0" EXIT REMOTENESS DISTANCE

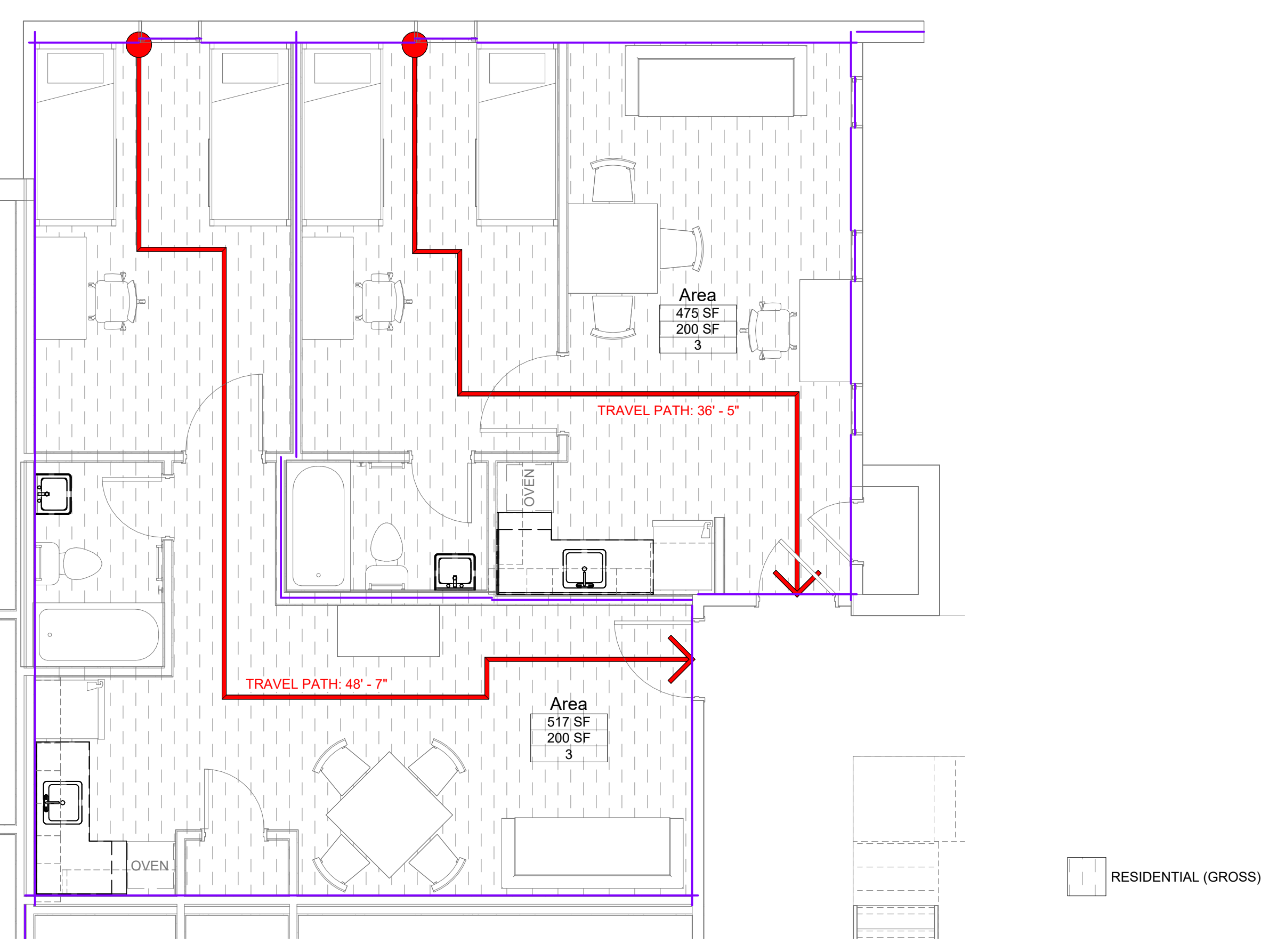
Area Name
 150 SF Per Occupant AREA

ILLUMINATED EXIT SIGN

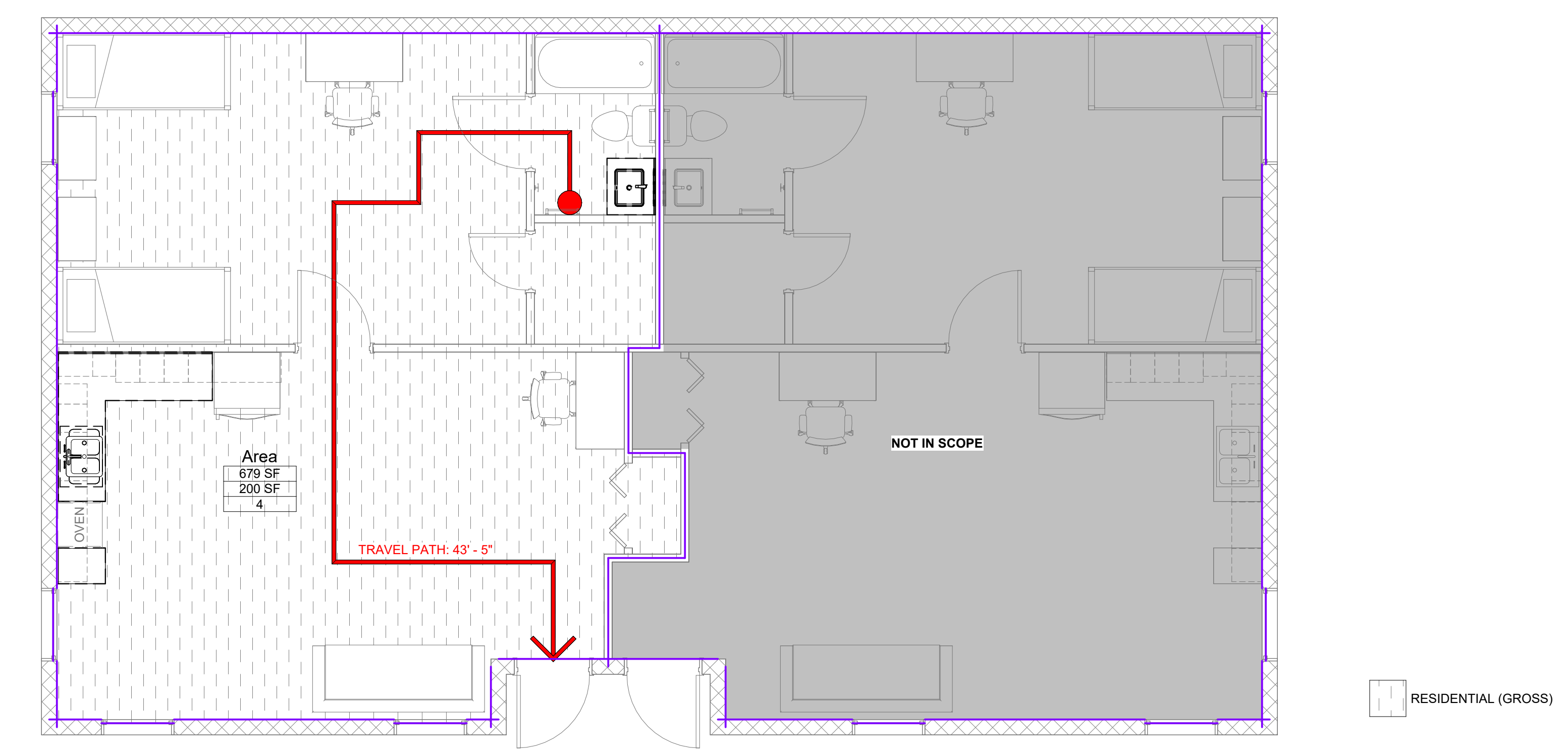
FE FIRE EXTINGUISHER

SHEET GENERAL NOTES

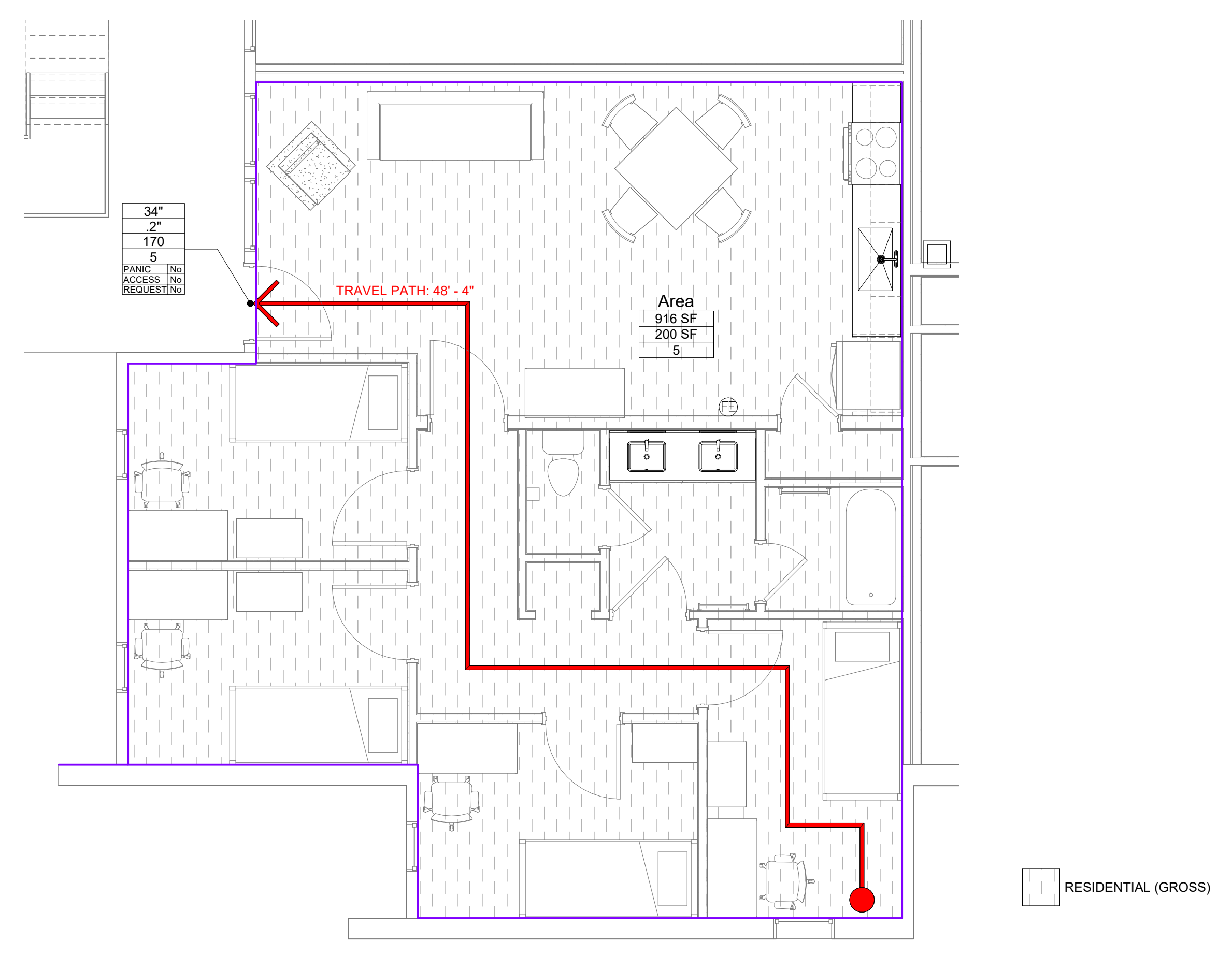
A. ALL PARTITIONS TO BE EXISTING TO REMAIN AND ALL CURRENT FIRE RATINGS ARE TO BE MAINTAINED.



1D LIFE SAFETY PLAN - 1BR
 G100 1/4" = 1'-0"



1A LIFE SAFETY PLAN - 1BR.C
 G100 1/4" = 1'-0"



4A LIFE SAFETY PLAN - 4BR
 G100 1/4" = 1'-0"

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 North Charleston, SC 29405
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 4822 E Palmetto St
 Florence, SC 29506
 OSE PROJECT NUMBER - H18-N095-SG

PROJECT NO.
4142197600

SHEET TITLE
LIFE SAFETY PLAN - LEVEL 01

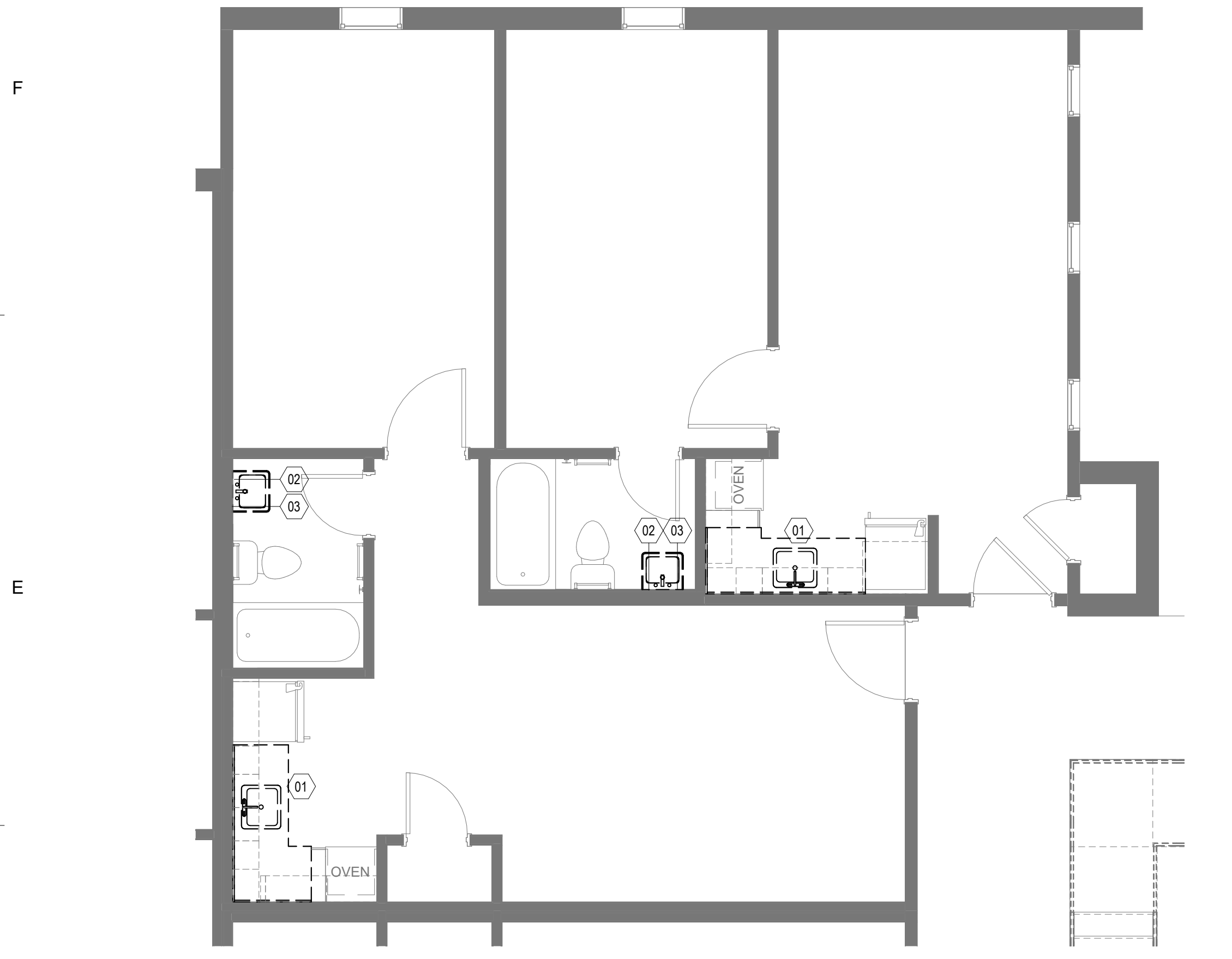
SHEET NUMBER
G100

SHEET KEYED NOTES

- 01 REMOVE ALL EXISTING COUNTERTOPS AND SINKS. CAP PLUMBING AT SOURCE. EXISTING CASEWORK TO REMAIN. REMOVE CABINET DOORS AND HARDWARE AND STORE FOR REINSTALLATION. REPAIR ANY DAMAGED AREAS ON CABINET BOXES, FACE FRAMES AND CABINET DOORS. CLEAN AND PREP SURFACES FOR NEW PAINT. ANY CASEWORK AREAS DAMAGED BEYOND REPAIR SHOULD BE EVALUATED AND REPLACED ON A CASE BY CASE BASIS. NOTIFY ARCHITECT AND OWNER OF THESE CONDITIONS AS THEY ARISE.
- 02 REMOVE ALL EXISTING MIRRORS. PATCH, REPAIR, AND PAINT WALLS WHERE REQUIRED FOR INSTALLATION OF NEW ACCESSORIES.
- 03 EXISTING SCONCE TO BE REMOVED. PATCH, REPAIR, AND PAINT WALLS WHERE REQUIRED FOR INSTALLATION OF NEW FIXTURES.
- 04 REMOVE EXISTING MECHANICAL EXHAUST FAN AND CEILING LIGHT. PATCH, REPAIR AND PAINT CEILING WHERE REQUIRED FOR INSTALLATION OF NEW FIXTURES.
- 05 MODIFICATION OF EXISTING SWITCHES AND COVER PLATES REQUIRED PER INSTALLATION OF NEW FIXTURES.

SHEET GENERAL NOTES

- A. VERIFY EXISTING JOB SITE CONDITIONS PERTAINING TO THE DEMOLITION WORK INDICATED AND/OR IMPLIED ON THE DRAWINGS AND REPORT ANY DISCREPANCIES AND/OR OMISSIONS WHICH WOULD INTERFERE WITH SATISFACTORY COMPLETION OF THE WORK. NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERY OF ANY FIELD CONDITION IN CONTACT WITH NEW WORK. DO NOT PROCEED UNTIL ARCHITECT EVALUATES CONCERNS IN QUESTION.
- B. THIS PLAN IS NOT A COMPLETE REPRESENTATION OF ALL EXISTING CONDITIONS. IT IS INTENDED TO SHOW THE EXTENT OF DEMOLITION. SEE KEYED SHEET NOTES, DEMOLITION DETAILS, AND FLOOR PLANS FOR ADDITIONAL INFORMATION. EVERYTHING INDICATED FOR REMOVAL IS TO BE REMOVED IN ITS ENTIRETY, INCLUDING HIDDEN MATERIALS.
- C. ALL DEBRIS BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED DAILY FROM THE PREMISES AT THE CONTRACTOR'S EXPENSE AND BE DISPOSED OF ACCORDING TO LOCAL CODES AND GOVERNING AUTHORITIES. VERIFY SALVAGE MATERIALS WITH THE OWNER'S REPRESENTATIVE.
- D. REPAIR/PATCH OPENINGS IN WALLS, PARTITIONS, FLOORS, AND CEILINGS THAT ARE EXISTING OR WHERE DEMOLITION OCCURS TO MATCH EXISTING ADJACENT FINISH SURFACE. MAINTAIN CODE AND FIRE RATING REQUIREMENTS.
- E. EXISTING FINISHES TO BE REMOVED SHALL HAVE THE ORIGINAL SUBSTRATE PREPARED TO RECEIVE NEW FINISHES.
- F. PROVIDE SAFE MEANS OF EGRESS THROUGH AND/OR AROUND THE BUILDING AND/OR SITE AT ALL TIMES AS WELL AS ACCESS TO ALL UTILITY CLOSETS AS REQUIRED.
- G. CONTACT ARCHITECT IF EXTENT OF DEMOLITION IS UNCLEAR OR IS IN CONFLICT.
- H. WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE AND CURRENT BUILDING CODES AND ALL OTHER CODES THAT HAVE AUTHORITY OVER THIS PROJECT. SECURE REQUIRED PERMITS. PROVIDE NECESSARY SAFEGUARDS, BARRIERS, TEMPORARY POWER, LIGHTING, FIRE PROTECTION, ETC. AS REQUIRED DURING DEMOLITION.
- I. DEBRIS REMOVAL IS TO BE CONDUCTED IN A MANNER NOT TO INTERFERE WITH OCCUPIED SPACES.
- J. ALL EXISTING STRUCTURAL ELEMENTS ARE TO REMAIN UNDISTURBED UNLESS NOTED OTHERWISE.
- K. PATCH AND REPAIR ANY DAMAGE TO FIRE PROOFING FOUND DURING DEMOLITION.
- L. COORDINATE LIGHTING REQUIREMENTS WITH ELECTRICAL DRAWINGS TO MAINTAIN ADEQUATE LIGHTING TO MEET LIFE SAFETY REQUIREMENTS. LIGHT FIXTURES SHALL BE SUPPORTED FROM SLAB ABOVE.
- M. THOROUGHLY CLEAN ALL SURFACES REMAINING DURING CONSTRUCTION AS REQUIRED TO PREPARE SPACE FOR NEW CONSTRUCTION. SURFACES THAT ARE ADJACENT TO SURFACES TO BE DEMOLISHED ARE TO BE PROTECTED AND RESTORED AS NECESSARY AS PART OF THE SCOPE OF WORK. RESTORATION SHALL EXTEND TO THE NEAREST BREAK IN THE SURFACE.
- N. ALL SPARE BREAKERS AVAILABLE AFTER COMPLETION OF THE PROJECT SHALL BE SWITCHED TO THE "OFF" POSITION.
- O. PRIOR TO AND DURING DEMOLITION, ALL ELEMENTS REQUESTED BY OWNER TO BE SALVAGED SHALL BE REMOVED AND DELIVERED TO AN AREA DESIGNATED BY THE OWNER OR TO A SECURE STORAGE UNDER THE CONTRACTOR'S CONTROL. ALL PRECAUTIONS SHALL BE TAKEN TO ENSURE ITEMS FOR RELOCATION ARE PRESERVED INTACT.
- P. COORDINATE REMOVAL OF FURNISHINGS, FIXTURES, AND EQUIPMENT IN ROOMS PRIOR TO THE START OF DEMOLITION.

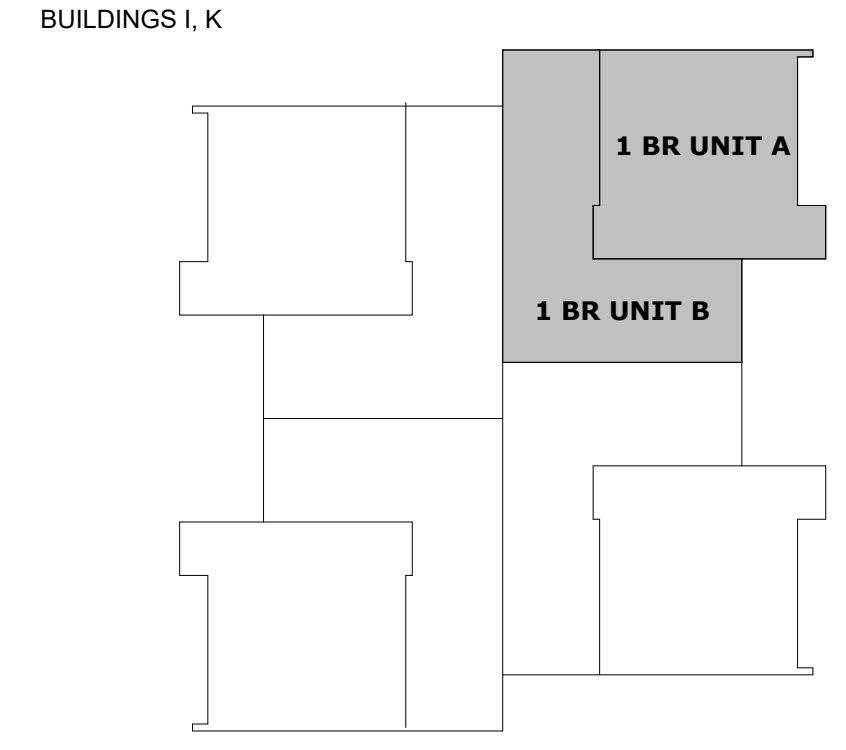


1D DEMOLITION PLAN - TYP. 1BR.AB
AD111.AB 1/4" = 1'-0"



4D DEMOLITION REFLECTED CEILING PLAN - TYP. 1BR.AB
AD111.AB 1/4" = 1'-0"

KEY PLAN



ISSUE FOR
100% CDs

ISSUE DATE
02.14.2025

| NO. | REASON | DATE |
|-----|--------------|------------|
| 1 | OSE Comments | 02.21.2025 |

| PROJECT TEAM | |
|---------------------|------------|
| PRINCIPAL IN CHARGE | D BAUS |
| PROJECT MANAGER | S KERSCHEN |
| DESIGN TEAM | C. TURNER |

PROJECT
Village Apartments Interior Renovation, FMU
4822 E Palmetto St
Florence, SC 29506

OSE PROJECT NUMBER - H18-N095-SG

PROJECT NO.
4142197600

SHEET TITLE
DEMOLITION PLAN - 1BR.AB - LEVEL 01

SHEET NUMBER
AD111.AB

SHEET KEYED NOTES

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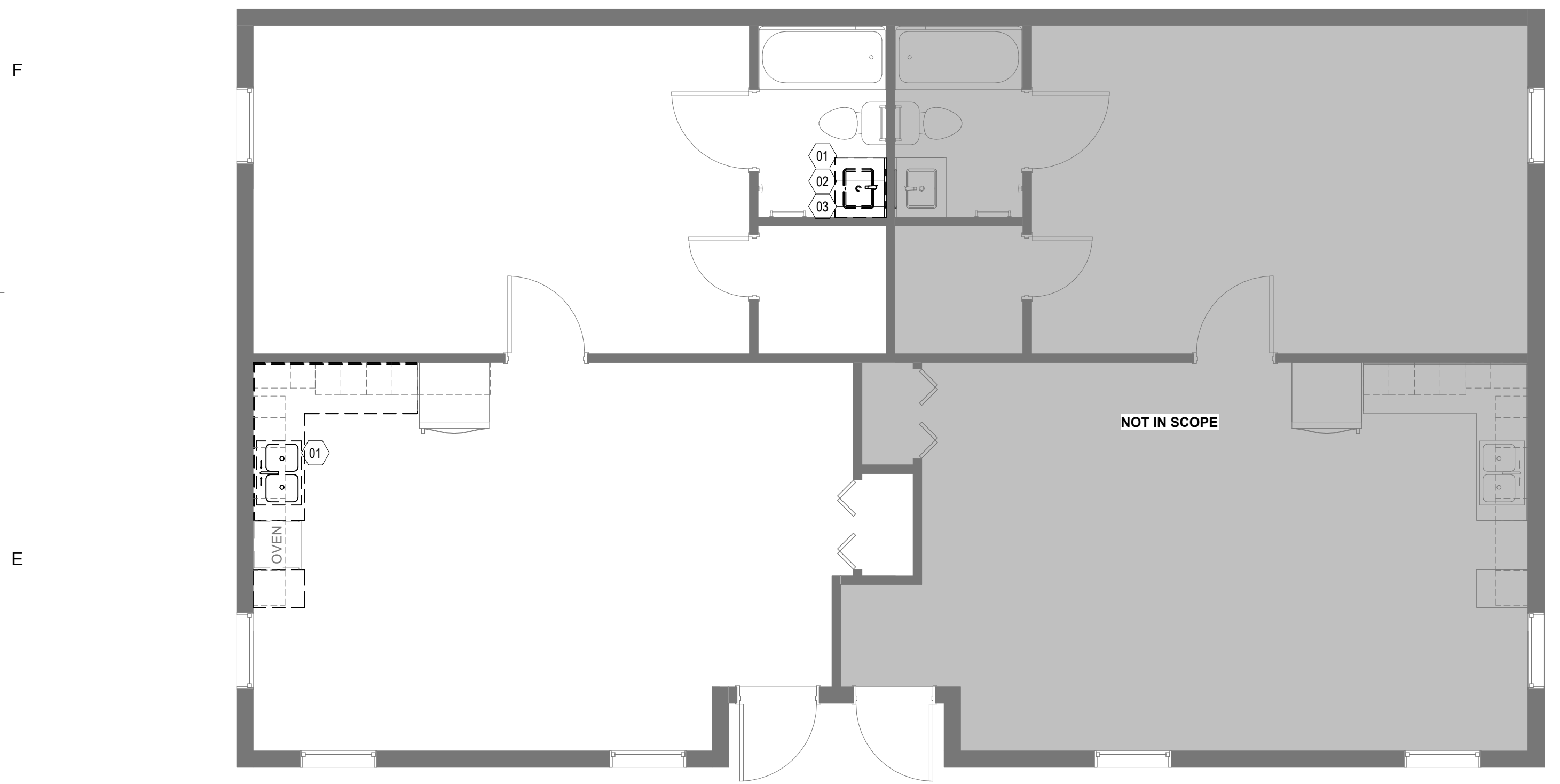
PROJECT TEAM
PRINCIPAL IN CHARGE
D BAUS
PROJECT MANAGER
S KERSCHEN
DESIGN TEAM
C. TURNER

Village Apartments Interior Renovation, FMU
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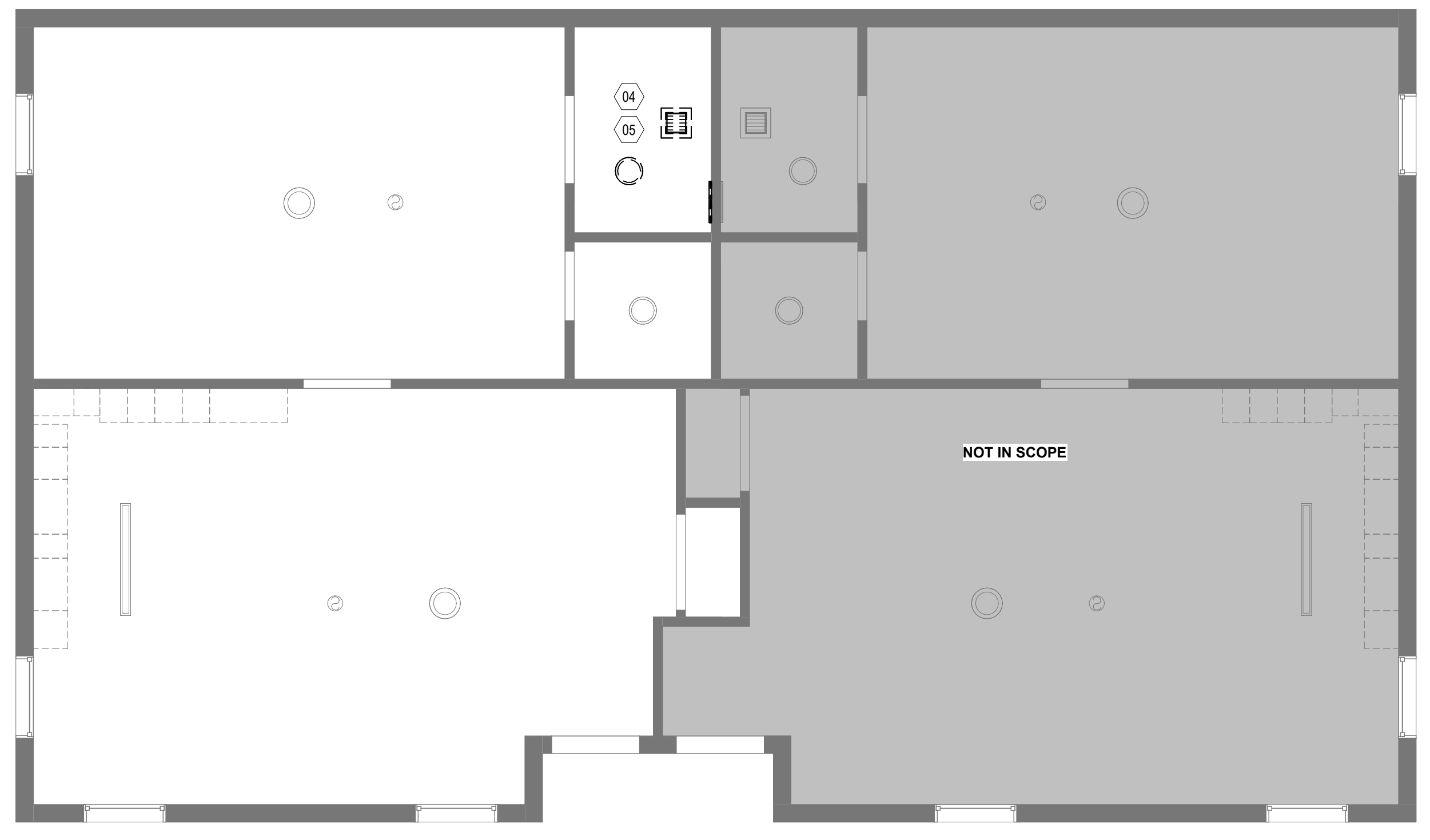
PROJECT NO.
4142197600

SHEET TITLE
DEMOLITION PLAN - 1BR.C
- LEVEL 01

SHEET NUMBER
AD111.C



1D DEMOLITION PLAN - 1BR.C
AD111.C 1/4" = 1'-0"



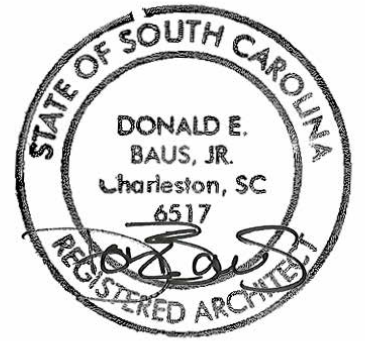
4D DEMOLITION REFLECTED CEILING PLAN - 1BR.C
AD111.C 1/4" = 1'-0"

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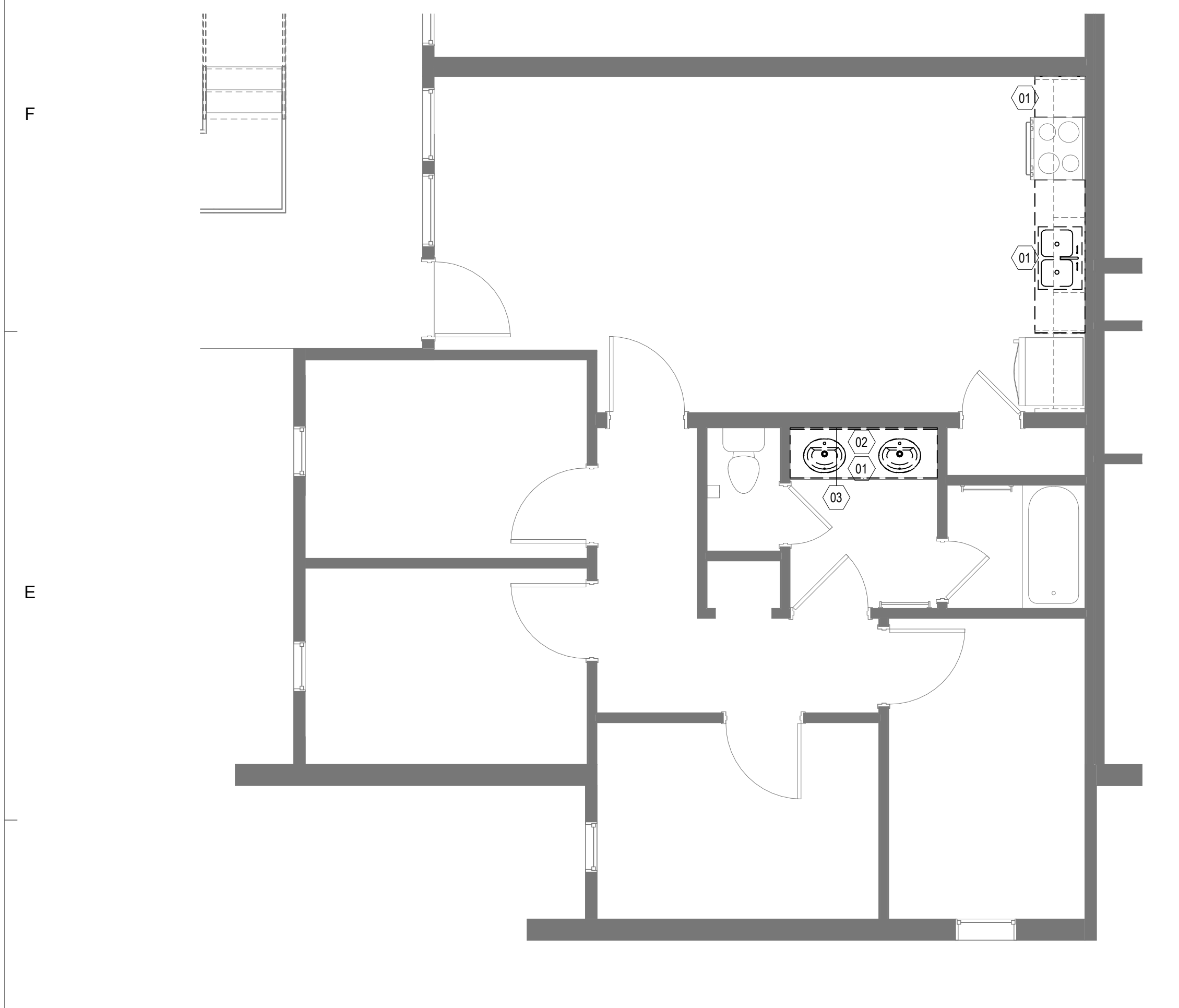
PROJECT TEAM
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Village Apartments Interior Renovation, FMU
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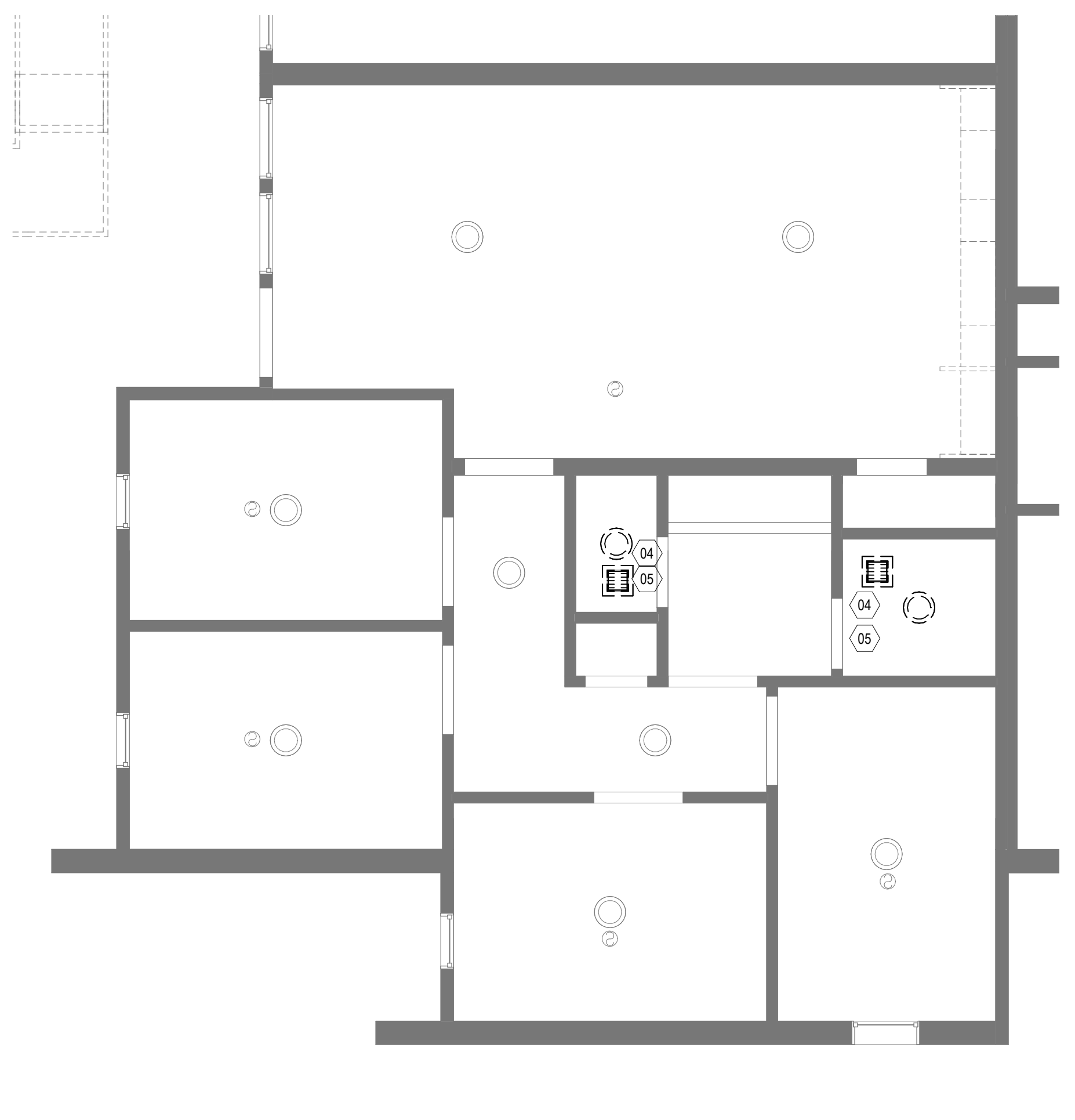
PROJECT NO.
4142197600

SHEET TITLE
DEMOLITION PLAN - 4BR.D
- LEVEL 01

SHEET NUMBER
AD111.D



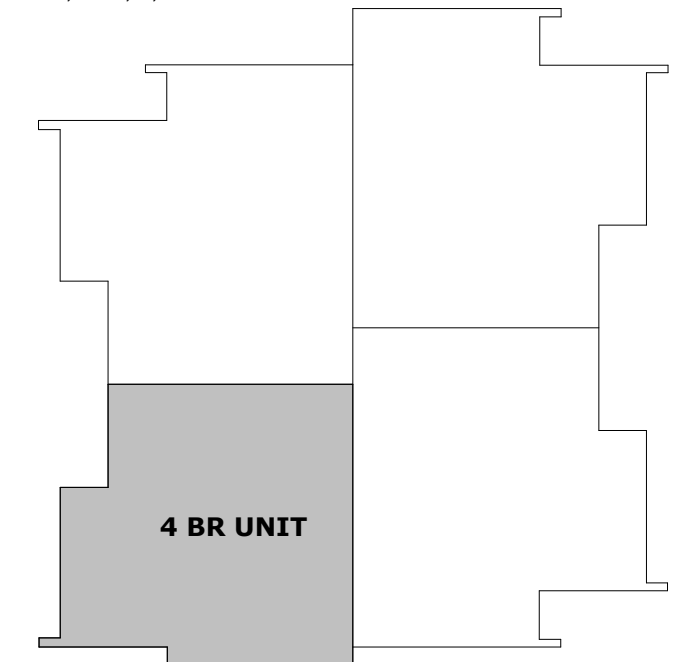
1D DEMOLITION PLAN - TYP. 4BR.D
AD111.D 1/4" = 1'-0"



4D DEMOLITION REFLECTED CEILING PLAN - TYP. 4BR.D
AD111.D 1/4" = 1'-0"

KEY PLAN

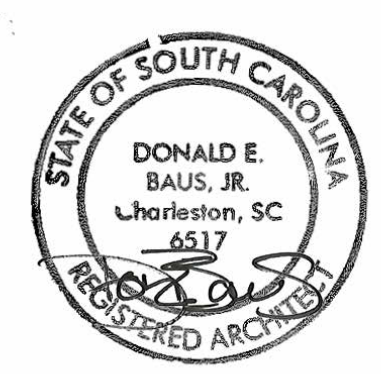
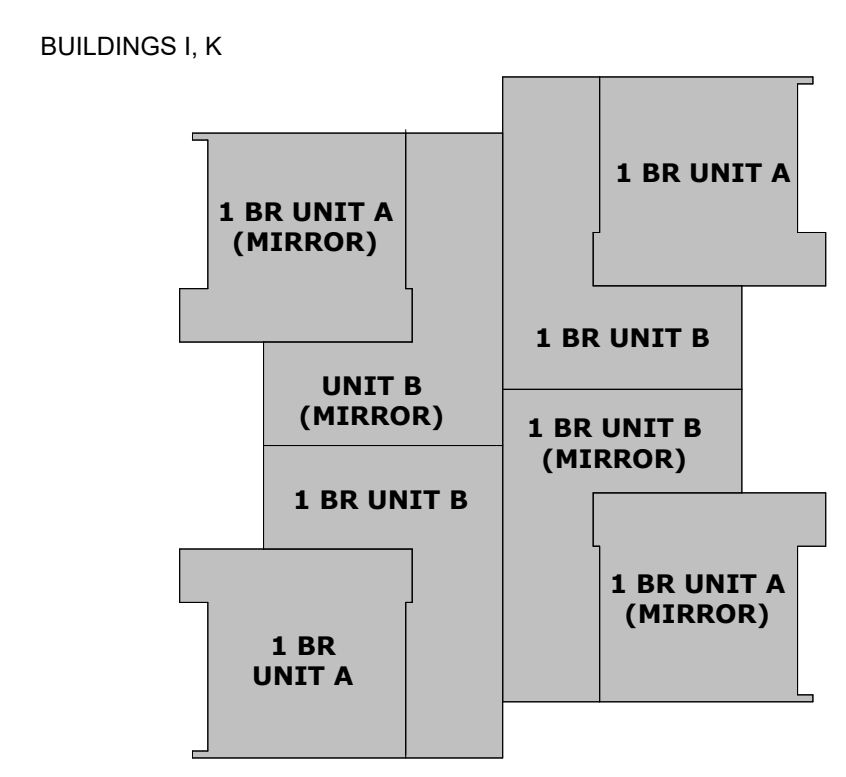
BUILDINGS A-B, D-H, J, L-M





1A OVERALL PLAN - 1BR.AB - LEVEL 01
A101.AB 1/4" = 1'-0"

KEY PLAN



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PROJECT TEAM
PRINCIPAL IN CHARGE
D BAUS
PROJECT MANAGER
S KERSCHEN
DESIGN TEAM
Designer

PROJECT NAME
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4822 E Palmetto St
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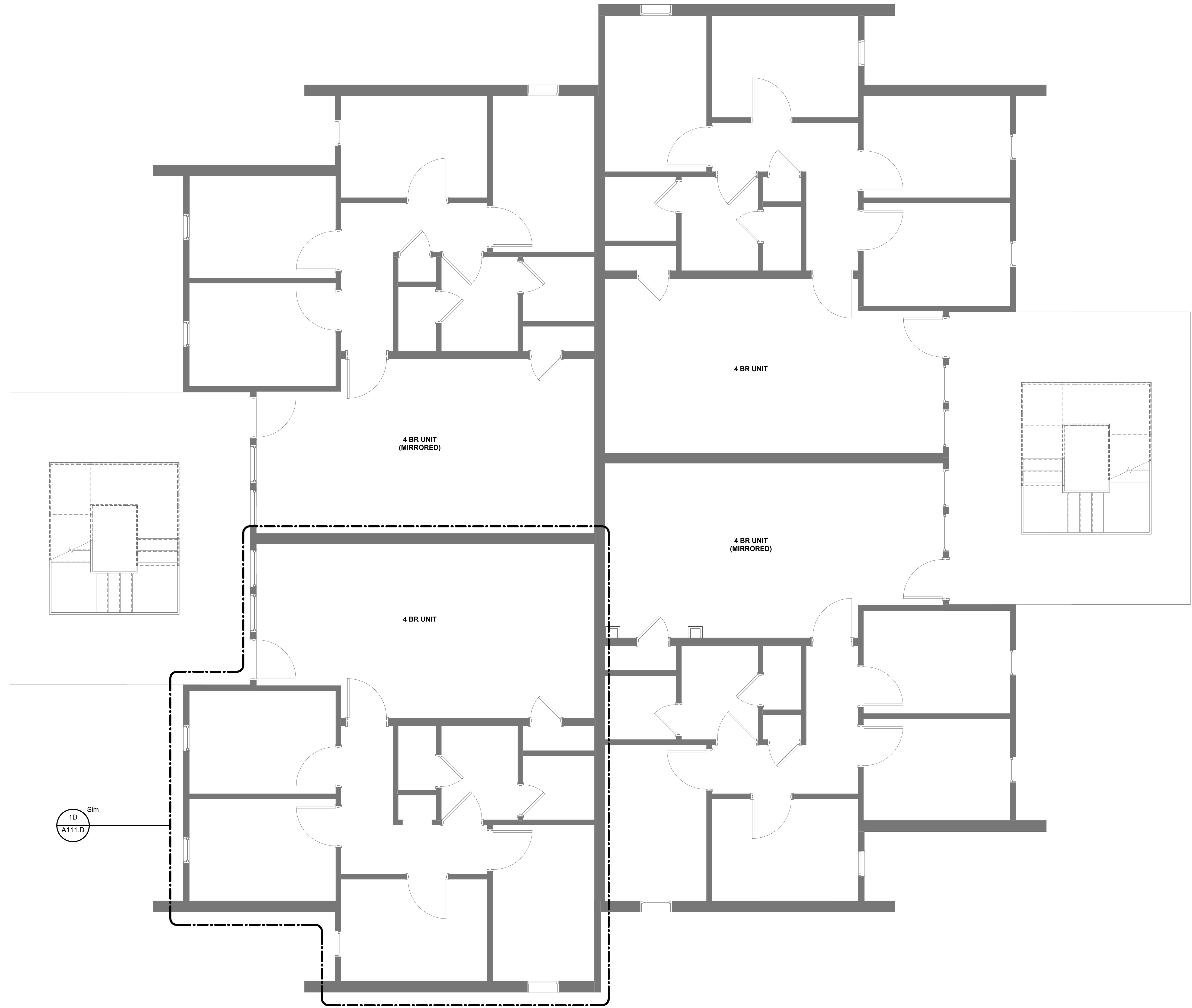
PROJECT NO.
4142197600

SHEET TITLE
OVERALL FLOOR PLAN - 1BR.AB - LEVEL 01

SHEET NUMBER
A101.AB

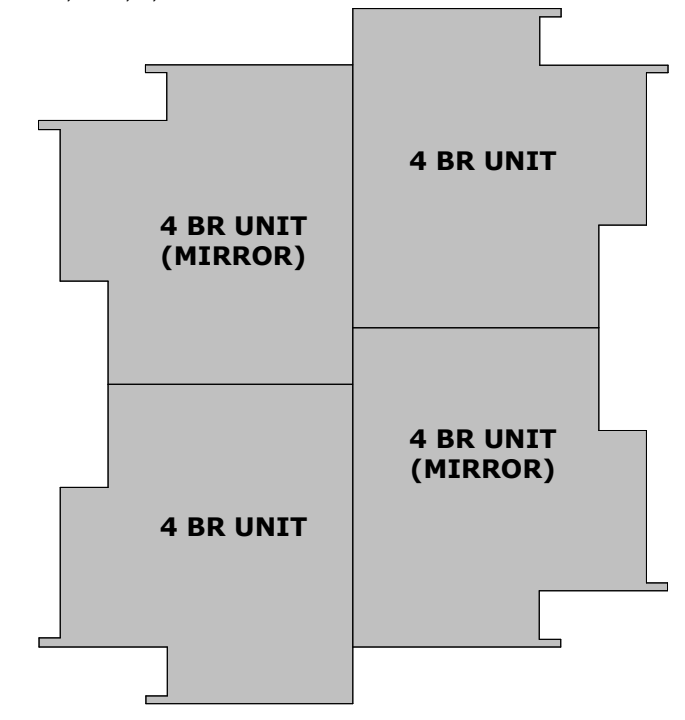
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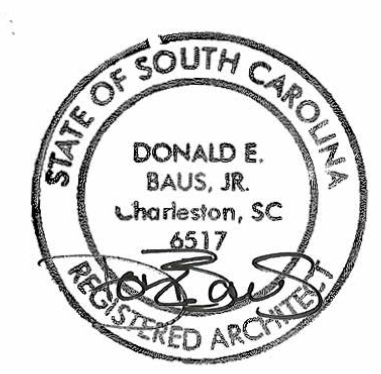


KEY PLAN

BUILDINGS A-B, D-H, J, L-M



1A OVERALL PLAN - 4BR.D - LEVEL 01
A101.D 1/4" = 1'-0"



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PROJECT TEAM
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D BAUS
PROJECT MANAGER
S KERSCHEN

DESIGN TEAM
Designer
Donna Baus

Village Apartments Interior
Renovation, FMU
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Florence, SC 29506

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SHEET TITLE
**OVERALL FLOOR PLAN -
4BR.D - LEVEL 01**

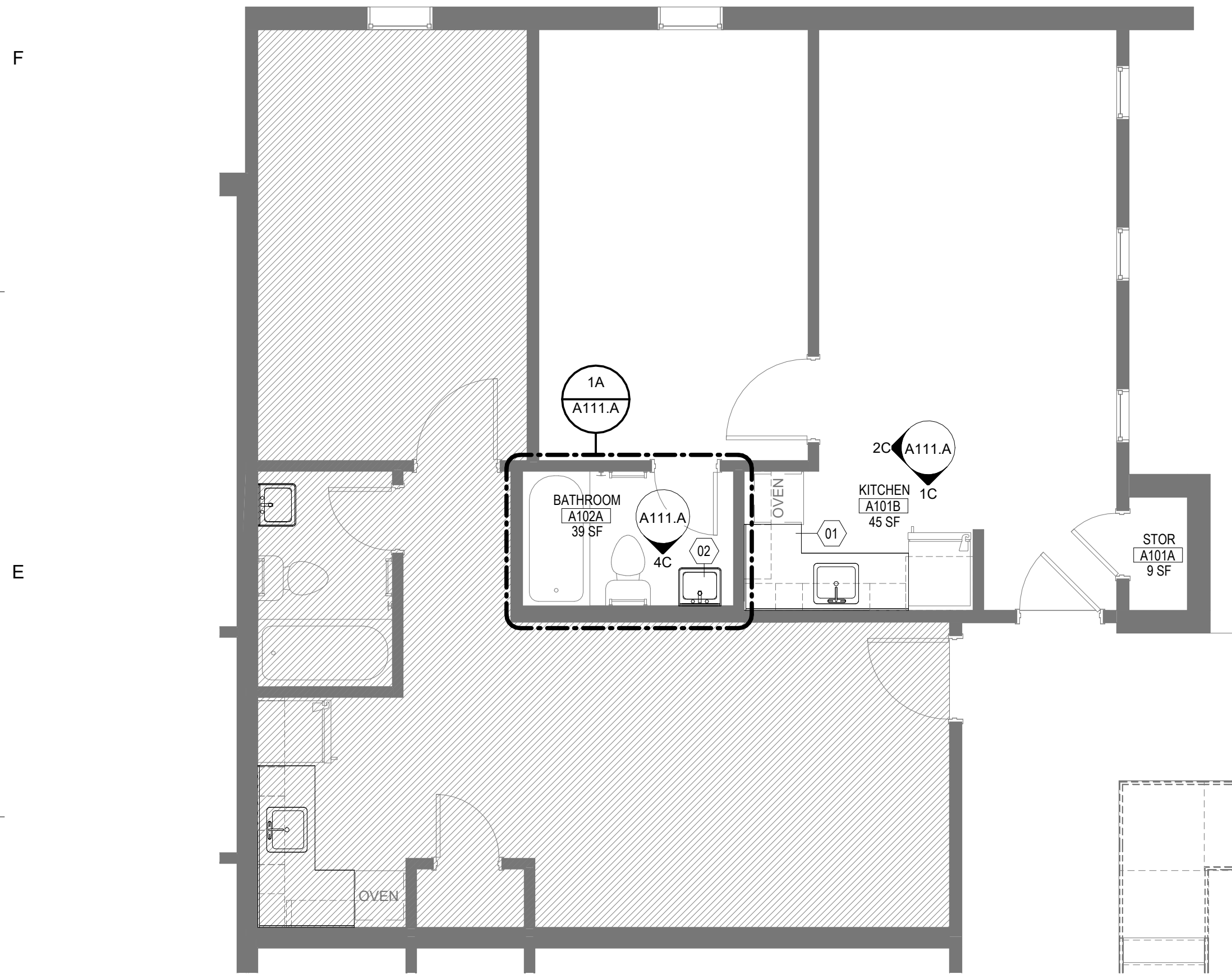
SHEET NUMBER
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SHEET GENERAL NOTES

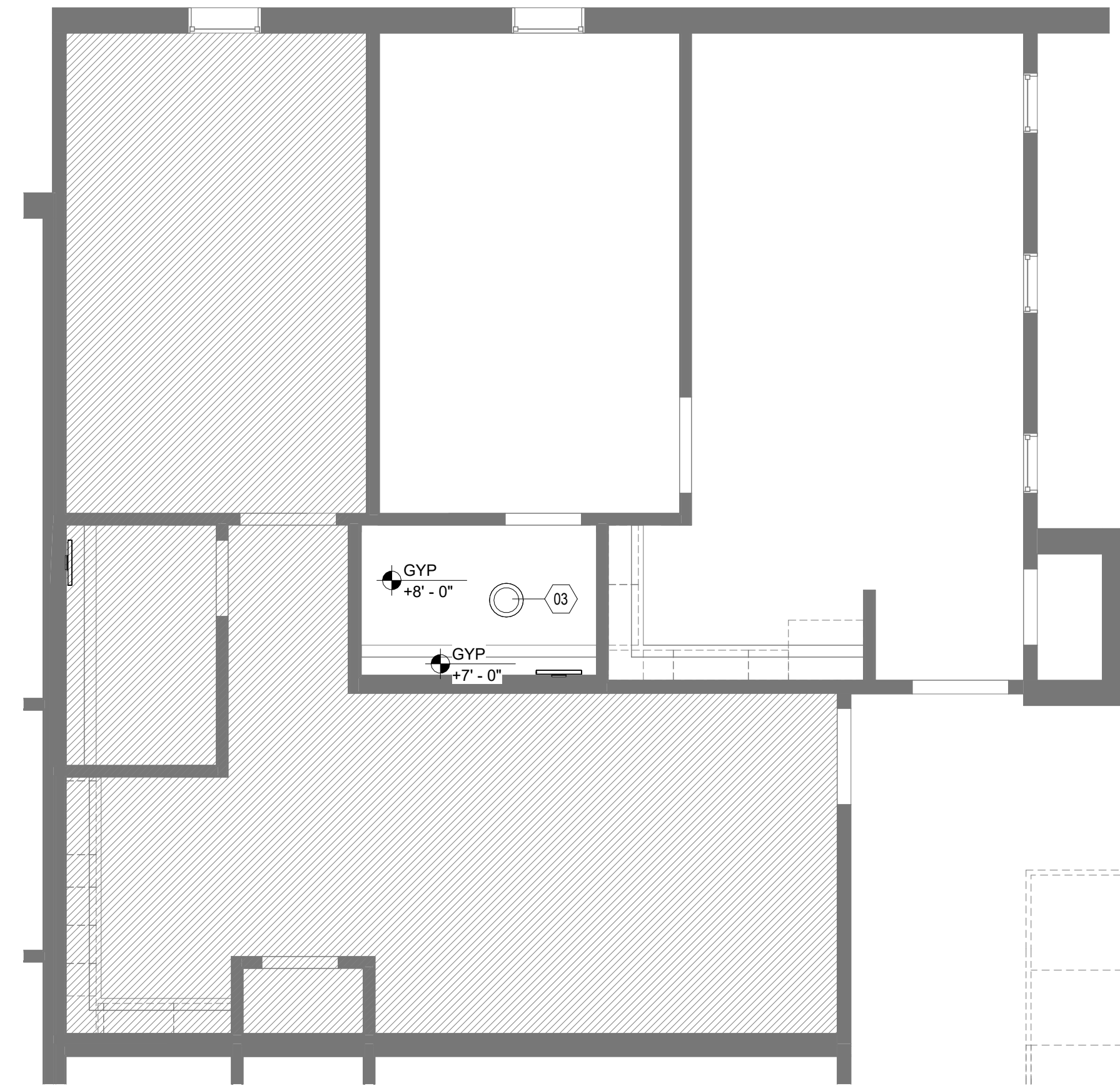
- A. TYPICAL UNIT LAYOUT SHOWN. CONTRACTOR TO VERIFY DIMENSIONS AND FIELD CONDITIONS TO CONFIRM CONSTRUCTABILITY. ANY CONFLICTS OR OMISSIONS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF WORK. EXACT DEVICE AND FIXTURE LOCATIONS MAY VARY. COORDINATE WITH EXISTING CONDITIONS ON A UNIT BY UNIT BASIS.
- B. WORK NOTED "BY OTHERS" OR "NIC" IS NOT IN CONTRACT.
- C. WORK OUTSIDE "AREA OF WORK" IS NOT IN CONTRACT, UNLESS OTHERWISE NOTED.
- D. EXISTING WALL SURFACES AND PARTITIONS TO REMAIN SHALL BE PATCHED, SPACKLED AND SANDED SMOOTH SO AS NOT TO LEAVE ANY EVIDENCE OF DEMOLITION OR REPAIR WORK.
- E. PROVIDE OR REUSE HOT AND COLD WATER LINES, SOIL, VENT LINES AND PRESSURE AND SHUTOFF VALVES AS REQUIRED IN ACCORDANCE WITH LOCAL BUILDING AND PLUMBING CODES FOR PLUMBING FIXTURES.
- F. COORDINATE AND PROVIDE FIRE RETARDANT BLOCKING IN PARTITIONS AND CEILING FOR MILLWORK, WALL AND CEILING ATTACHED ITEMS.
- G. DO NOT SCALE DRAWINGS. ALL PARTITION LOCATIONS, DIMENSIONS AND TYPES, DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT. PARTITION PLAN SUPERSEDES OTHER PLANS.
- H. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE. UNLESS OTHERWISE NOTED, DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF FINISHES.

SHEET KEYNOTES

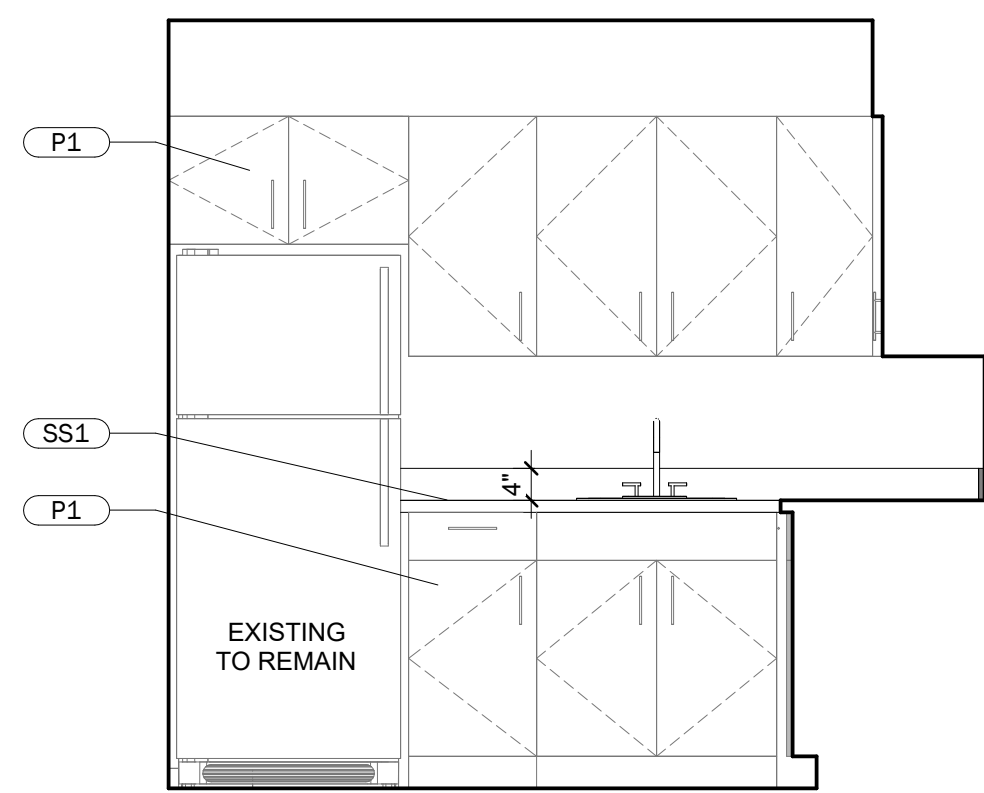
- 01 PRIME AND PAINT EXISTING UPPER AND LOWER CABINET BOXES, FACE FRAMES AND DOORS. INSTALL NEW SOLID SURFACE COUNTER TOP WITH 4" BACKSPLASH.
- 02 BASE BID. REPLACE EXISTING WALL HUNG SINK. ADD ALT 1: INSTALL NEW BASE CABINETS AND SOLID SURFACE TOP WITH NEW UNDERMOUNT SINK. SEE DETAILS 1A/A111.A + 2A/A111.A
- 03 NEW CEILING MOUNTED EXHAUST FAN WITH INTEGRATED LIGHT.
- 04 NEW SCONCE TO REPLACE EXISTING LOCATION.
- 05 BASE BID. REPLACE EXISTING WALL HUNG SINK. ADD ALT 1: INSTALL NEW BASE CABINETS AND SOLID SURFACE TOP WITH NEW UNDERMOUNT SINK. SEE DETAILS 1A/A111.B + 2A/A111.B



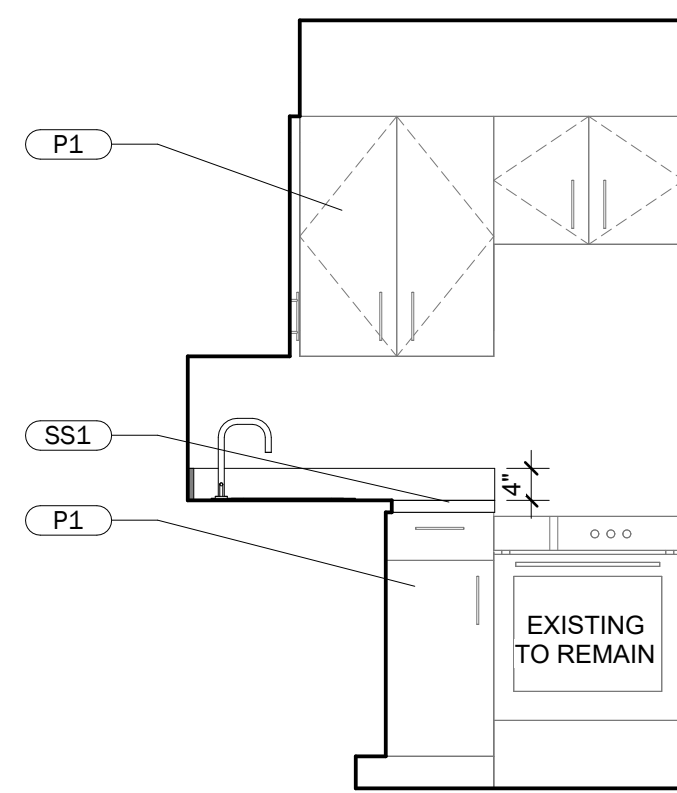
1D FLOOR PLAN - TYP. 1BR.A
A111.A 1/4" = 1'-0"



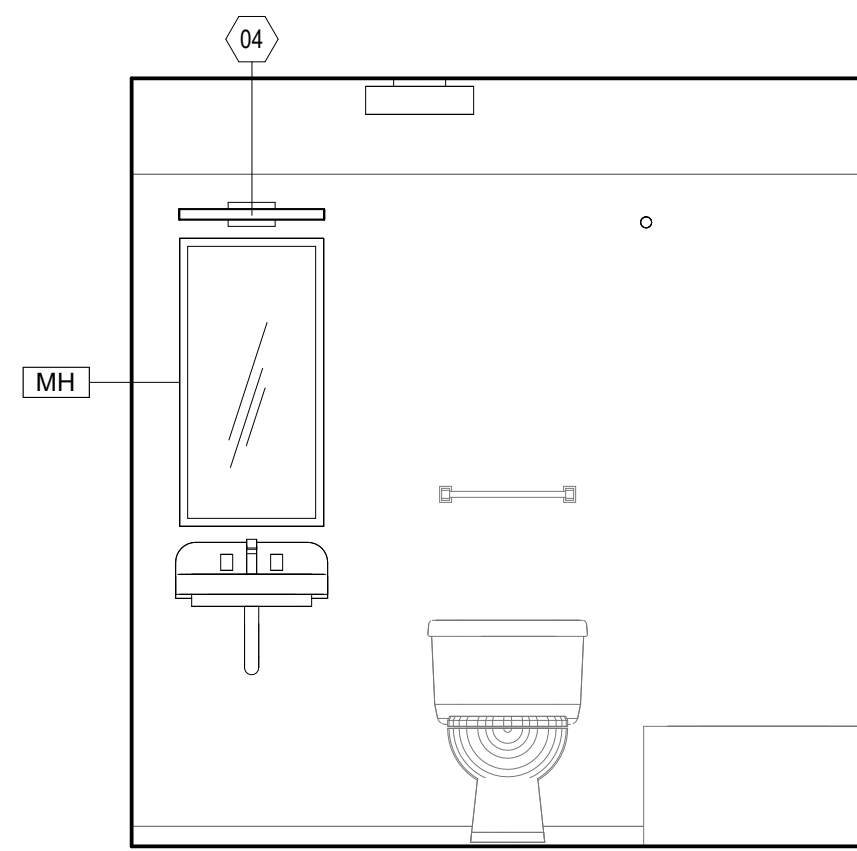
4D REFLECTED CEILING PLAN - TYP. 1BR.A
A111.A 1/4" = 1'-0"



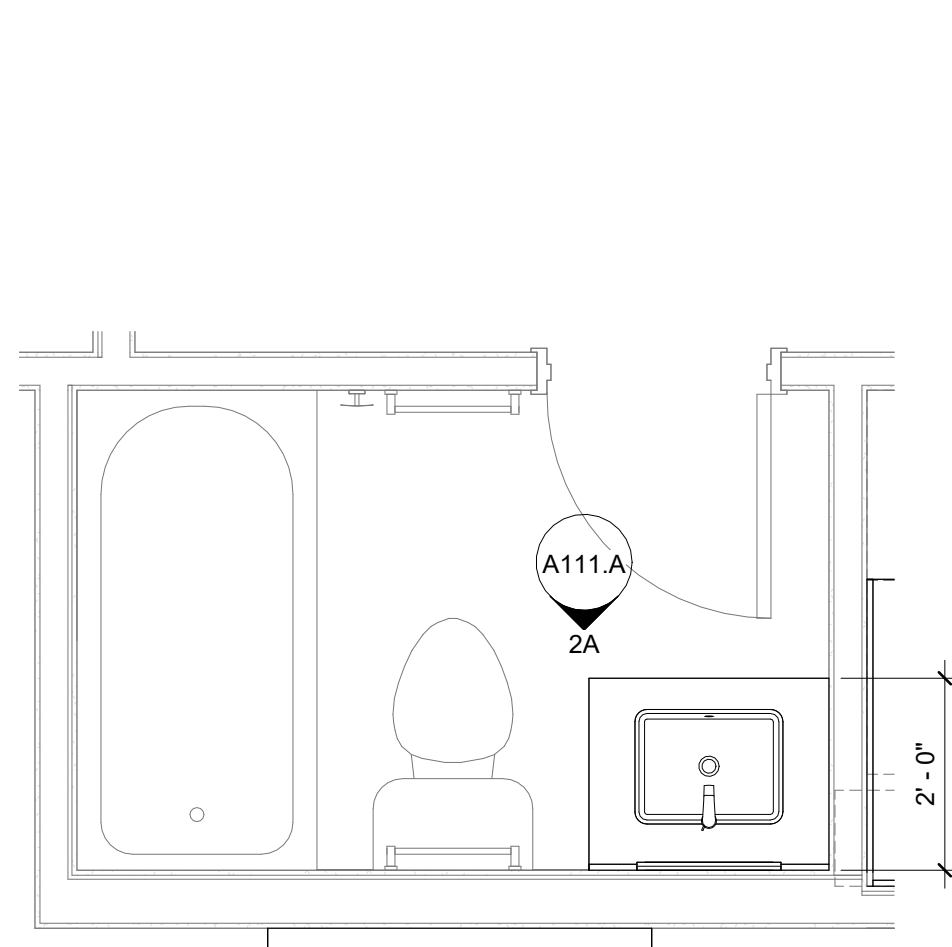
1C KITCHEN ELEVATION 1 - 1BR.A
A111.A 1/2" = 1'-0"



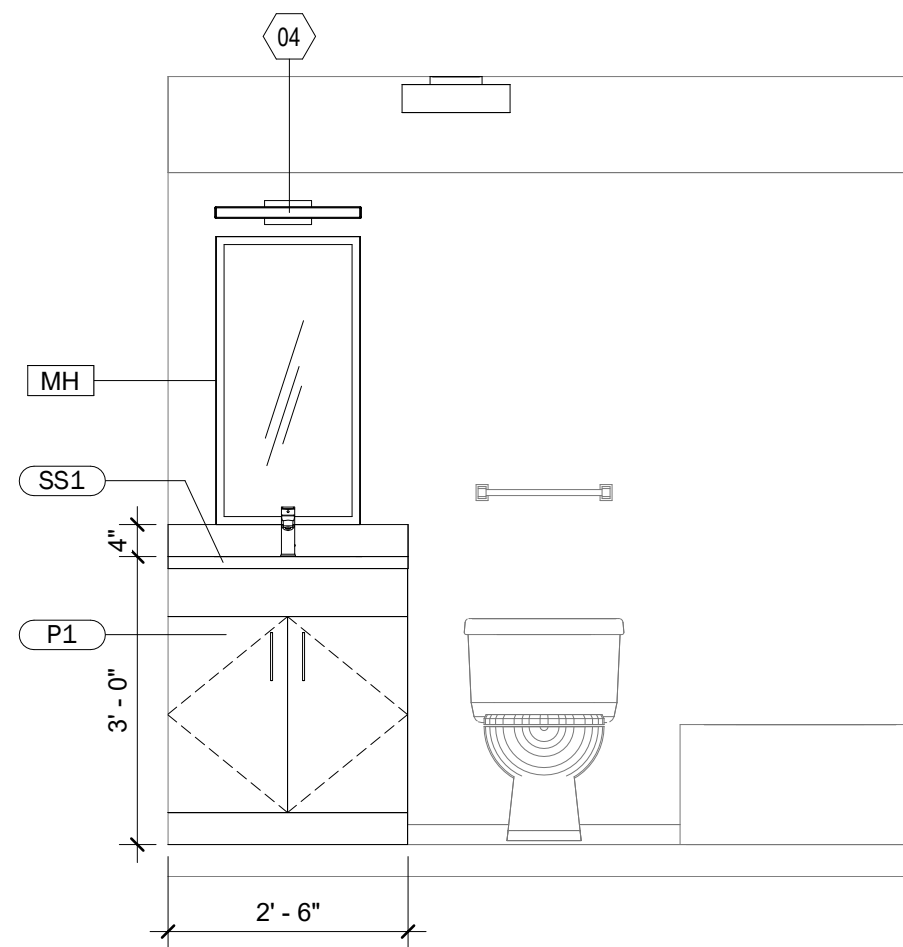
2C KITCHEN ELEVATION 2 - 1BR.A
A111.A 1/2" = 1'-0"



4C BATHROOM ELEVATION, TYP. 1BR.A
A111.A 1/2" = 1'-0"



1A ADD ALT 1, BATHROOM PLAN 1BR.A
A111.A 1/2" = 1'-0"

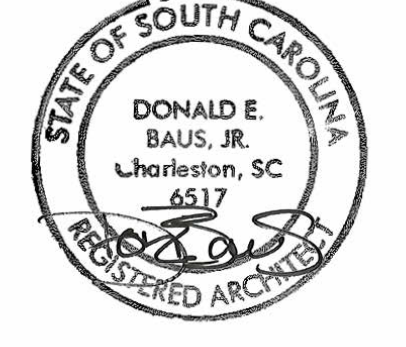
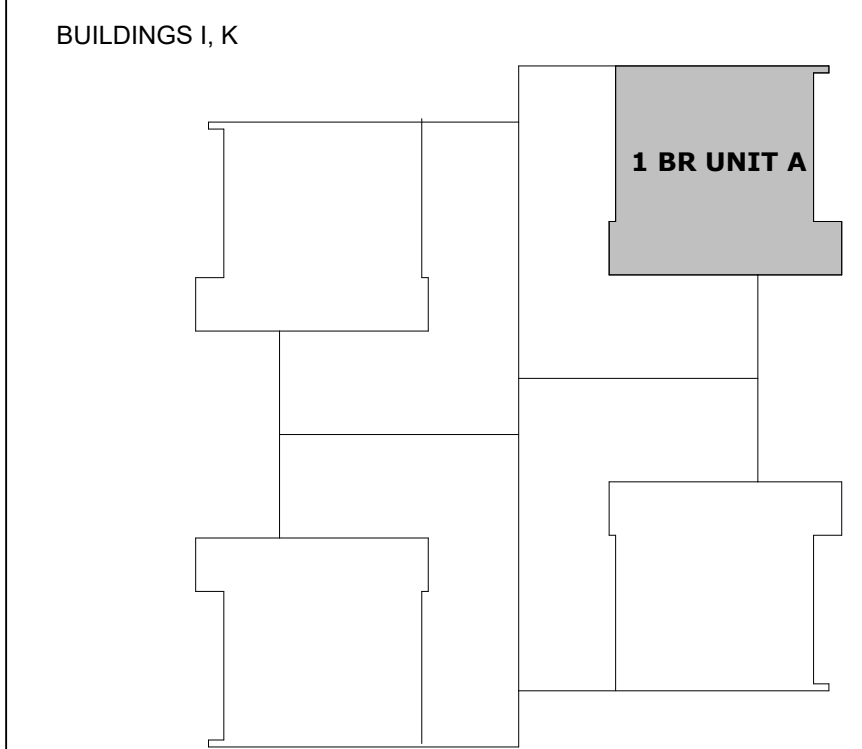


2A ADD ALT 1, BATHROOM ELEVATION 1BR.A
A111.A 1/2" = 1'-0"

| FINISH SCHEDULE | | | | | | | | |
|-----------------|----------------------|------------------|------------------|---|--------------------|--------|-------------------|--|
| FINISH CATEGORY | FINISH TYPE & NUMBER | TYPE DESCRIPTION | MANUFACTURER | PRODUCT | COLOR | FINISH | SIZE | LOCATION |
| CASEWORK | P1 | PAINT | SHERWIN WILLIAMS | VARIES BY CABINET MATERIAL. SEE SPECIFICATIONS. | SW9178 IN THE NAVY | SATIN | -- | EXISTING KITCHEN AND BATHROOM CASEWORK |
| CASEWORK | SS1 | SOLID SURFACE | LG HI-MAC | SOLID SURFACE | RIPE COTTON G518R | -- | 30" X 145" SHEETS | KITCHEN, BATHROOM |

| TOILET ACCESSORIES SCHEDULE | | | |
|-----------------------------|--------------|-----------|------------------------------------|
| Type Mark | Manufacturer | Model | Description |
| MH | BRADLEY | MODEL 781 | CHANNEL FRAME MIRROR (18"W x 36"H) |

KEY PLAN



ISSUE FOR
100% CDs

ISSUE DATE
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| NO. | REASON | DATE |
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| 1 | OSE Comments | 02.21.2025 |

PROJECT TEAM
PRINCIPAL IN CHARGE
D BAUS
PROJECT MANAGER
S KERSCHEN
DESIGN TEAM
Designer

Village Apartments Interior Renovation, FMU
4822 E Palmetto St
Florence, SC 29506
OSE PROJECT NUMBER - H18-N095-SG

PROJECT NO.
4142197600

SHEET TITLE
ENLARGED FLOOR PLAN, CEILING PLAN, & ELEVATIONS - 1BR.A - LEVEL 01

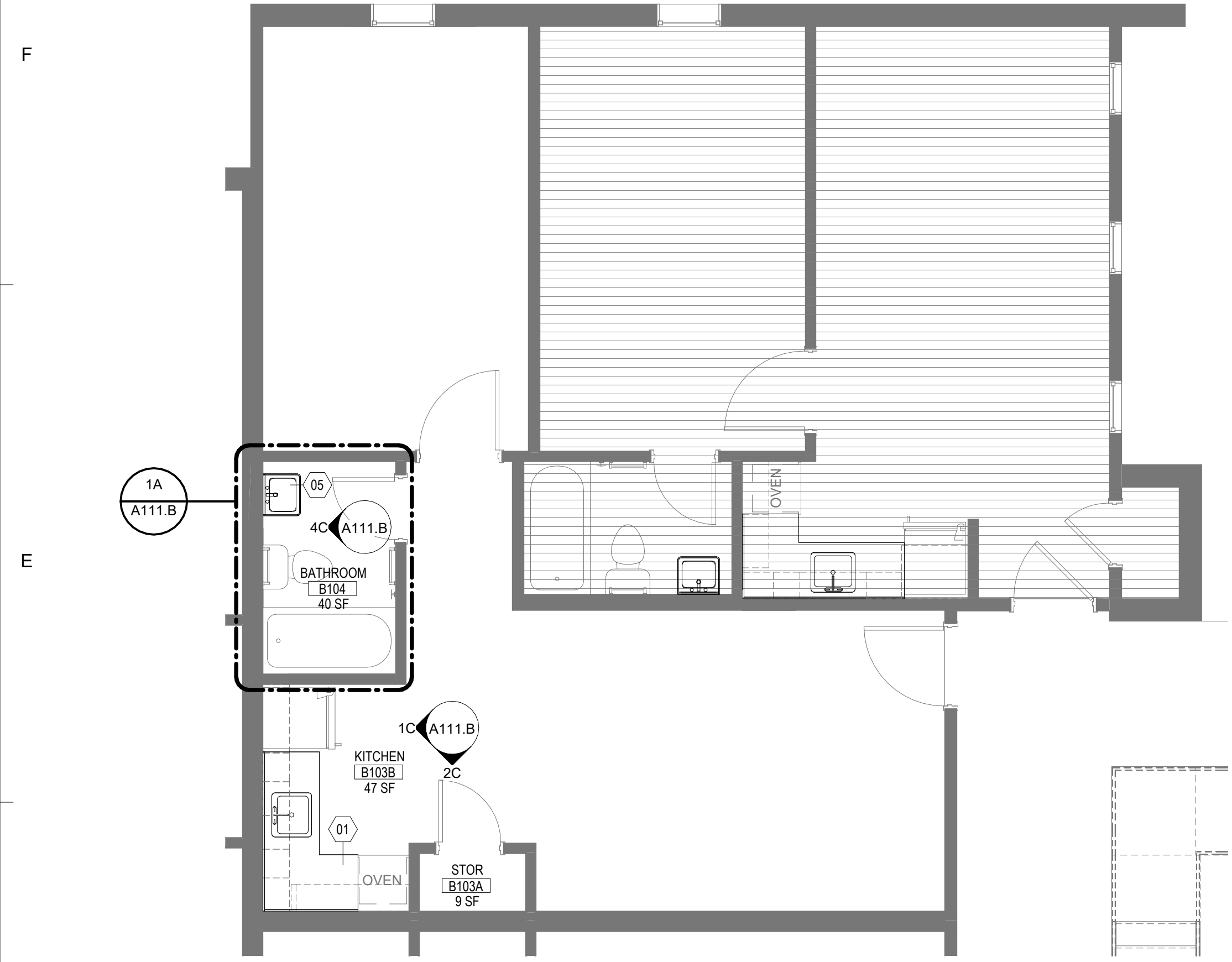
SHEET NUMBER
A111.A

SHEET GENERAL NOTES

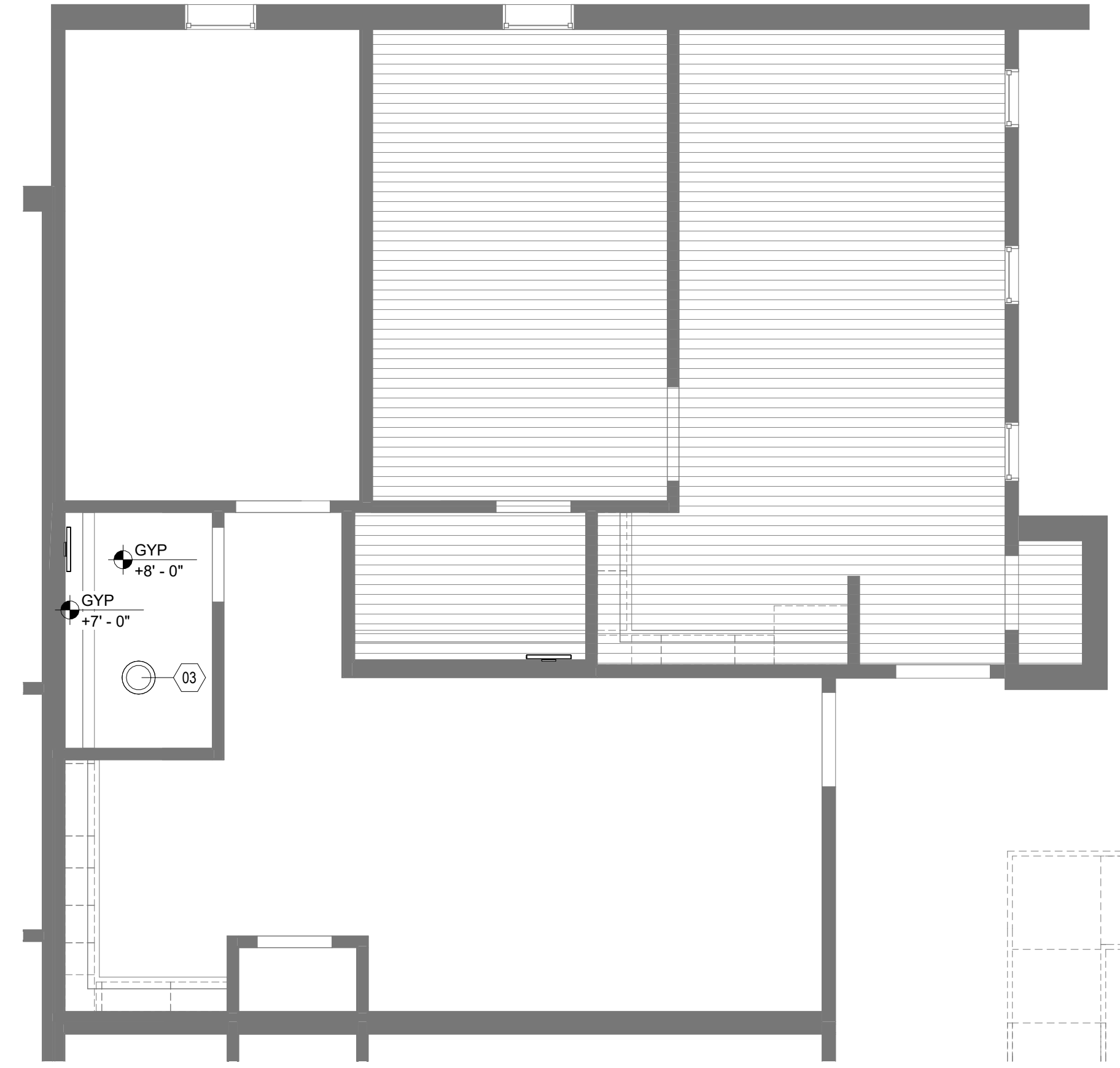
- A. TYPICAL UNIT LAYOUT SHOWN. CONTRACTOR TO VERIFY DIMENSIONS AND FIELD CONDITIONS TO CONFIRM CONSTRUCTABILITY. ANY CONFLICTS OR OMISSIONS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF WORK. EXACT DEVICE AND FIXTURE LOCATIONS MAY VARY. COORDINATE WITH EXISTING CONDITIONS ON A UNIT BY UNIT BASIS.
- B. WORK NOTED "BY OTHERS" OR "NIC" IS NOT IN CONTRACT.
- C. WORK OUTSIDE "AREA OF WORK" IS NOT IN CONTRACT, UNLESS OTHERWISE NOTED.
- D. EXISTING WALL SURFACES AND PARTITIONS TO REMAIN SHALL BE PATCHED, SPACKLED AND SANDED SMOOTH SO AS NOT TO LEAVE ANY EVIDENCE OF DEMOLITION OR REPAIR WORK.
- E. PROVIDE OR REUSE HOT AND COLD WATER LINES, SOIL, VENT LINES AND PRESSURE AND SHUTOFF VALVES AS REQUIRED IN ACCORDANCE WITH LOCAL BUILDING AND PLUMBING CODES FOR PLUMBING FIXTURES.
- F. COORDINATE AND PROVIDE FIRE RETARDANT BLOCKING IN PARTITIONS AND CEILING FOR MILLWORK, WALL AND CEILING ATTACHED ITEMS.
- G. DO NOT SCALE DRAWINGS. ALL PARTITION LOCATIONS, DIMENSIONS AND TYPES, DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT. PARTITION PLAN SUPERSEDES OTHER PLANS.
- H. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE. UNLESS OTHERWISE NOTED, DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF FINISHES.

SHEET KEYNOTES

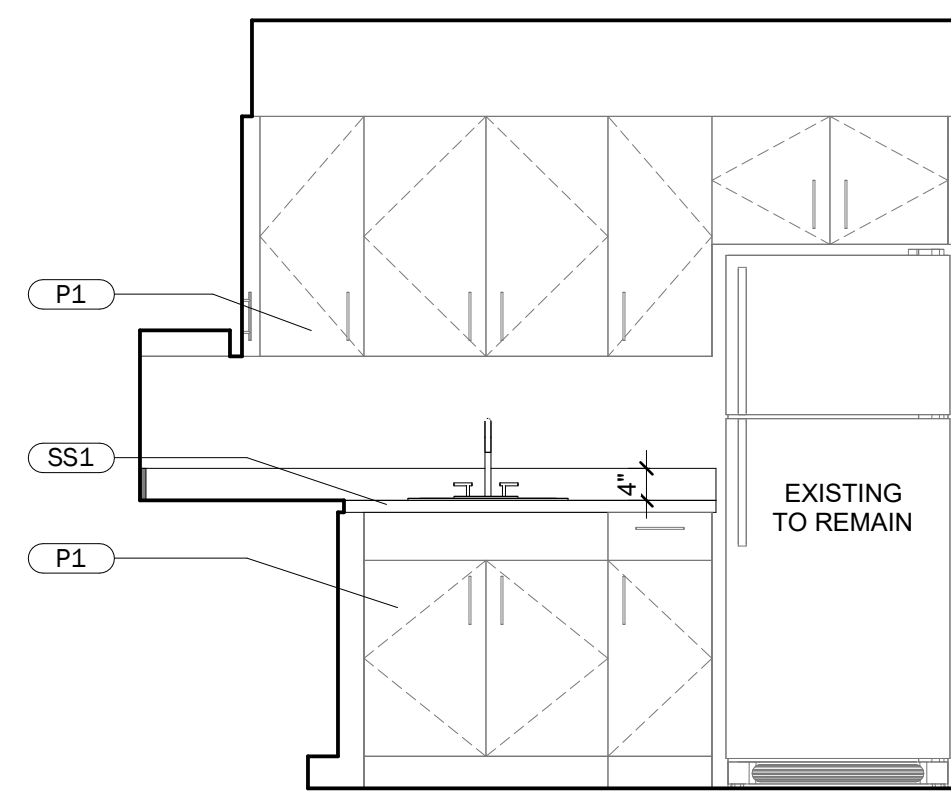
- 01 PRIME AND PAINT EXISTING UPPER AND LOWER CABINET BOXES, FACE FRAMES AND DOORS. INSTALL NEW SOLID SURFACE COUNTER TOP WITH 4" BACKSPLASH.
- 02 BASE BID. REPLACE EXISTING WALL HUNG SINK. ADD ALT 1: INSTALL NEW BASE CABINETS AND SOLID SURFACE TOP WITH NEW UNDERMOUNT SINK. SEE DETAILS 1A/A111.A + 2A/A111.A
- 03 NEW CEILING MOUNTED EXHAUST FAN WITH INTEGRATED LIGHT.
- 04 NEW SCONCE TO REPLACE EXISTING LOCATION.
- 05 BASE BID. REPLACE EXISTING WALL HUNG SINK. ADD ALT 1: INSTALL NEW BASE CABINETS AND SOLID SURFACE TOP WITH NEW UNDERMOUNT SINK. SEE DETAILS 1A/A111.B + 2A/A111.B



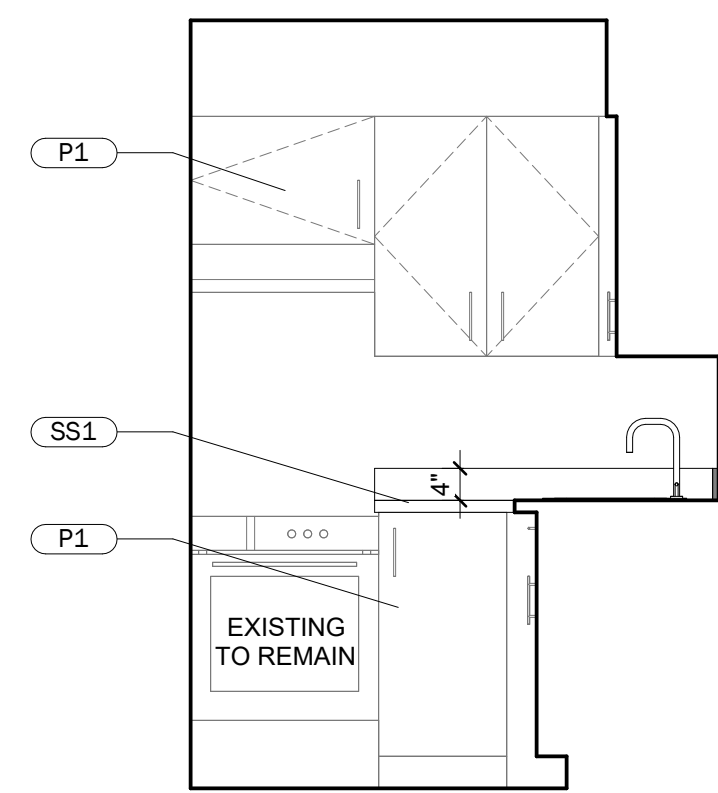
1D FLOOR PLAN - TYP. 1BR.B
A111.B 1/4" = 1'-0"



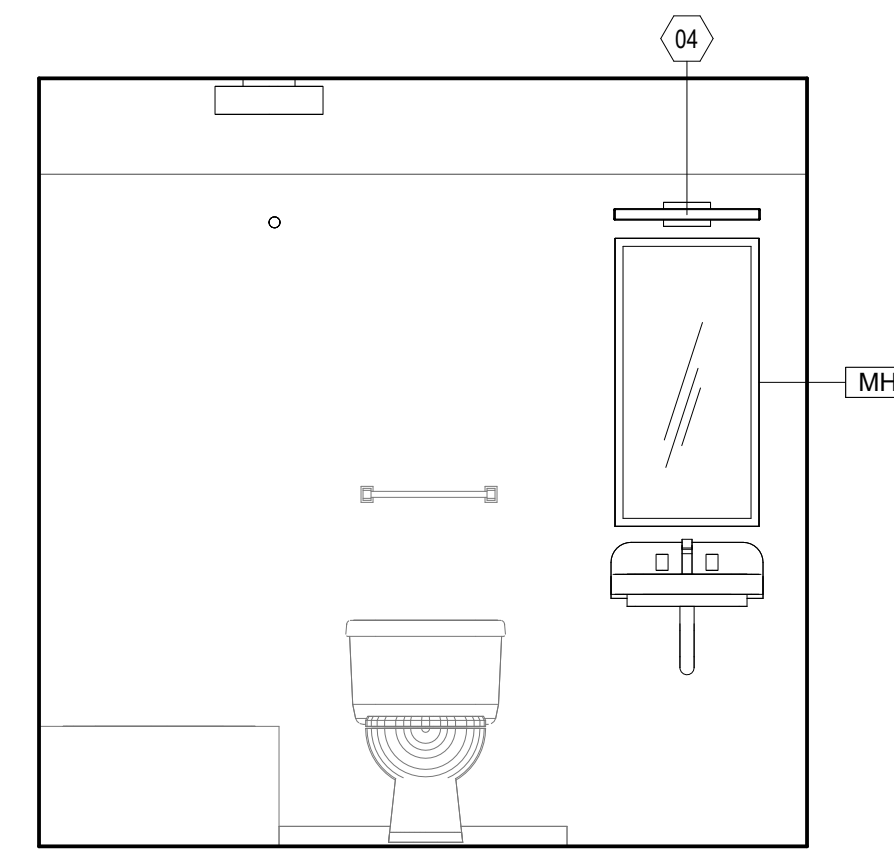
4D REFLECTED CEILING PLAN - TYP. 1BR.B
A111.B 1/4" = 1'-0"



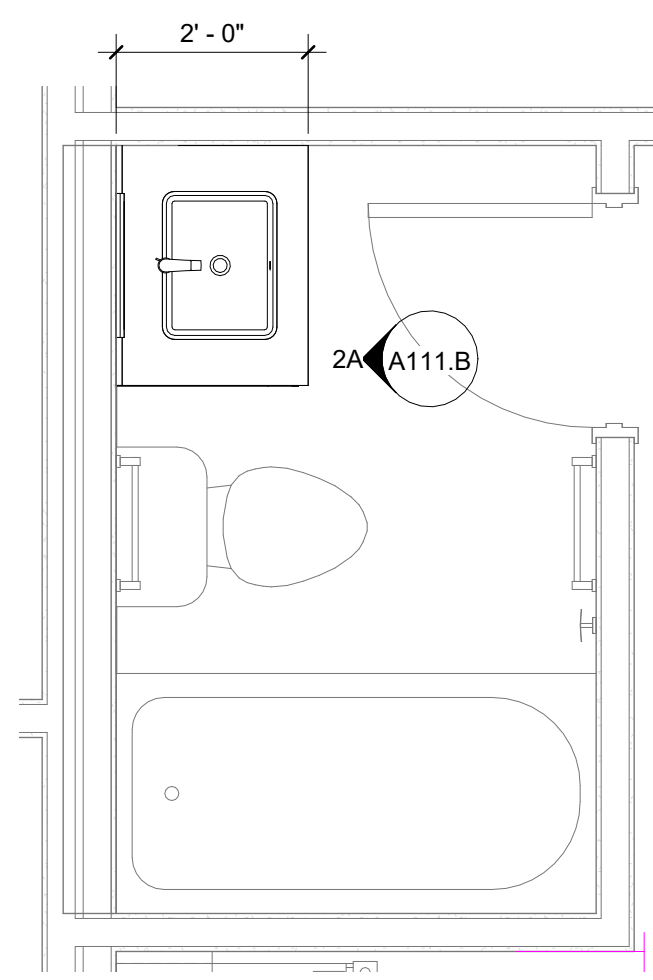
1C KITCHEN ELEVATION 1 - 1BR.B
A111.B 1/2" = 1'-0"



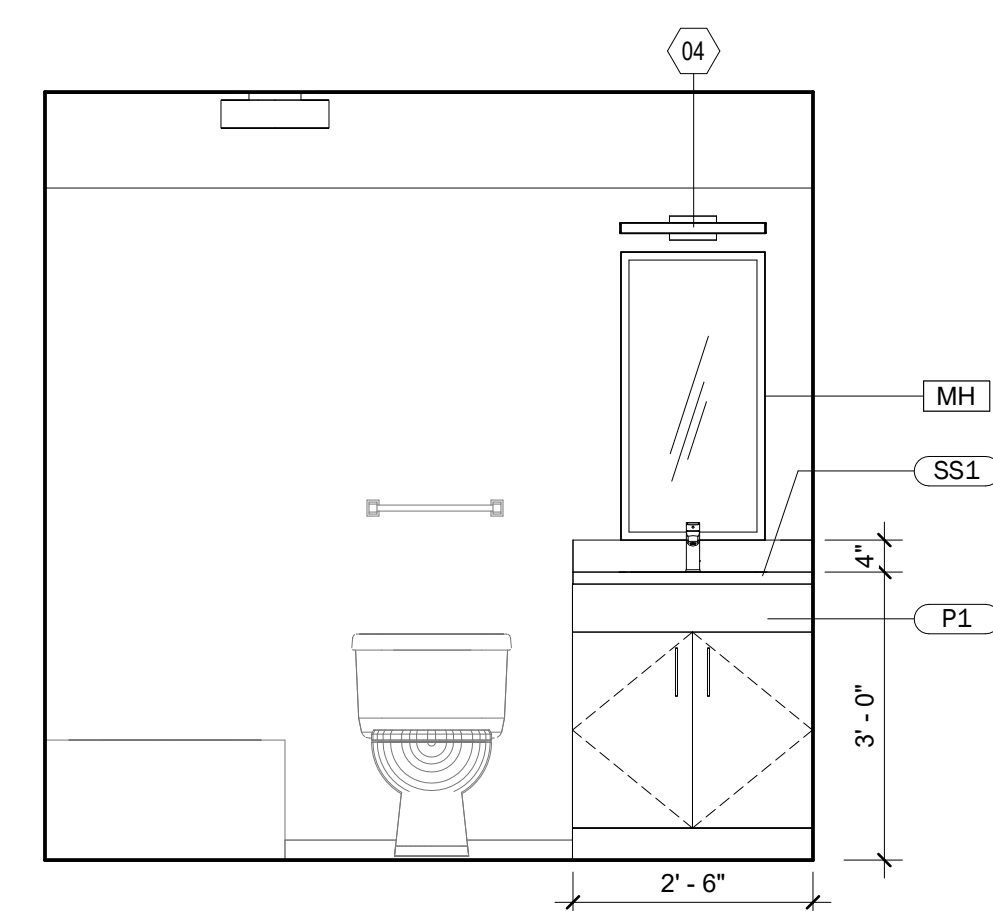
2C KITCHEN ELEVATION 2 - 1BR.B
A111.B 1/2" = 1'-0"



4C BATHROOM ELEVATION, TYP. - 1BR.B
A111.B 1/2" = 1'-0"



1A ADD ALT 1, BATHROOM PLAN 1BR.B
A111.B 1/2" = 1'-0"

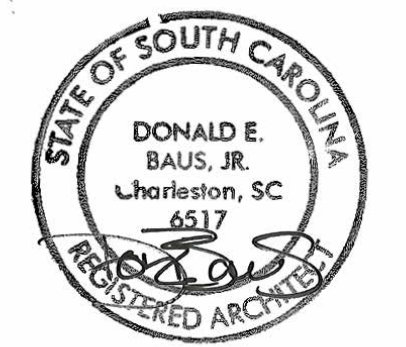
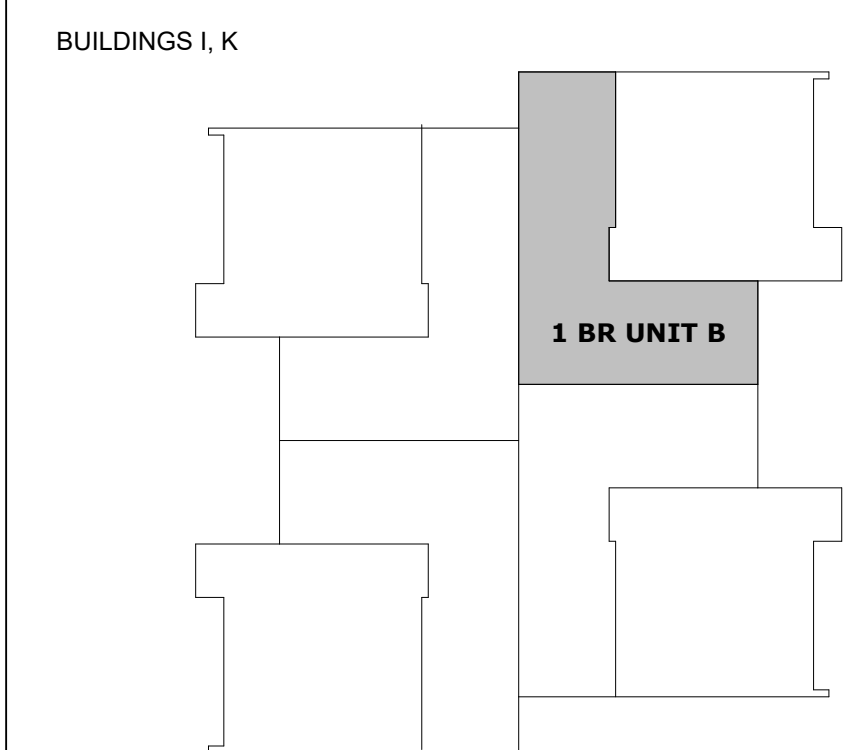


2A ADD ALT 1, BATHROOM ELEVATION 1BR.B
A111.B 1/2" = 1'-0"

| FINISH SCHEDULE | | | | | | | | |
|-----------------|----------------------|------------------|------------------|--|--------------------|--------|-------------------|--|
| FINISH CATEGORY | FINISH TYPE & NUMBER | TYPE DESCRIPTION | MANUFACTURER | PRODUCT | COLOR | FINISH | SIZE | LOCATION |
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| TOILET ACCESSORIES SCHEDULE | | | |
|-----------------------------|--------------|-----------|------------------------------------|
| Type Mark | Manufacturer | Model | Description |
| MH | BRADLEY | MODEL 781 | CHANNEL FRAME MIRROR (18"W x 36"H) |

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Designer

Village Apartments Interior Renovation, FMU
4822 E Palmetto St
Florence, SC 29506

OSE PROJECT NUMBER - H18-N095-SG

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4142197600

SHEET TITLE
ENLARGED FLOOR PLAN, CEILING PLAN, & ELEVATIONS - 1BR.B - LEVEL 01

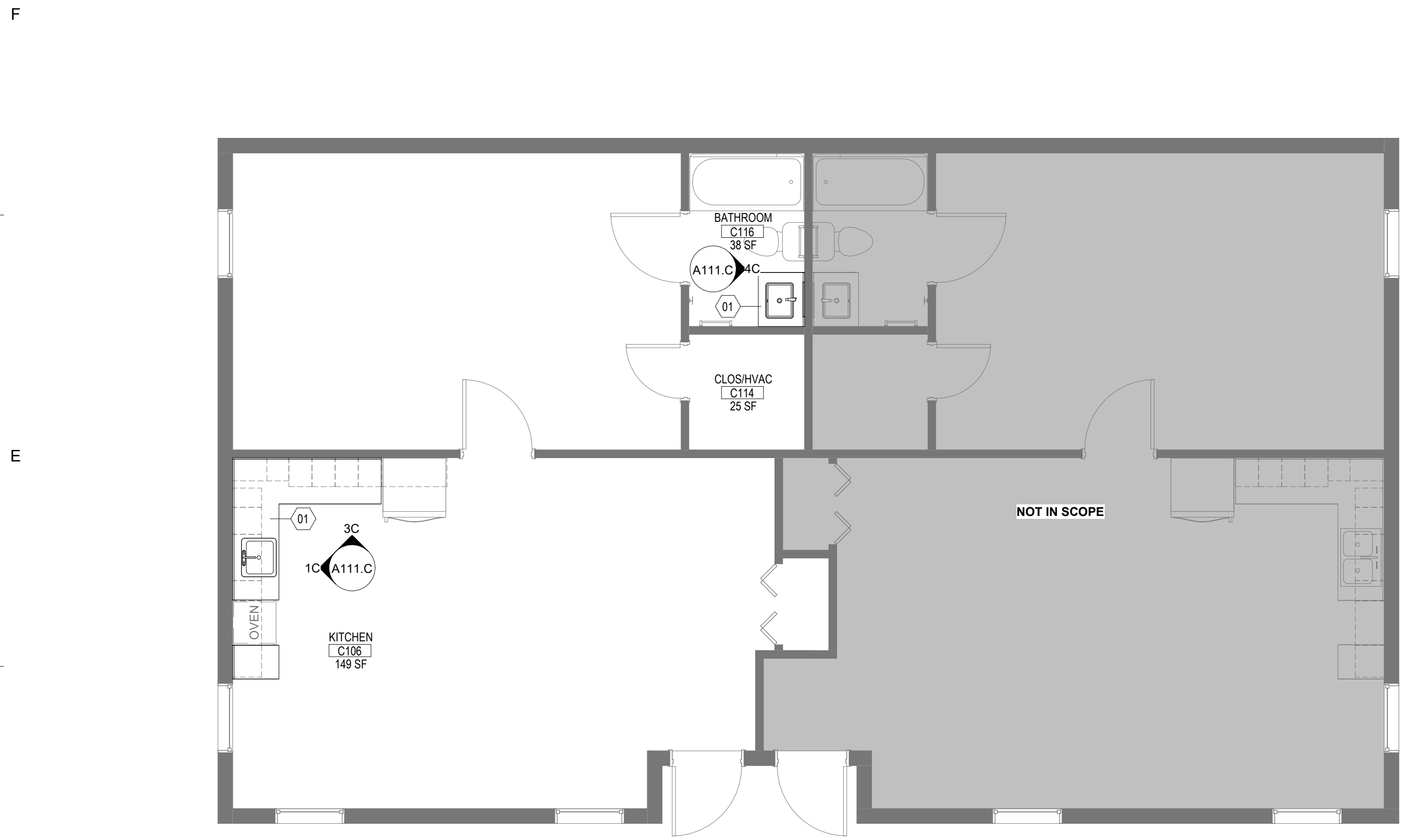
SHEET NUMBER
A111.B

SHEET GENERAL NOTES

- A. TYPICAL UNIT LAYOUT SHOWN. CONTRACTOR TO VERIFY DIMENSIONS AND FIELD CONDITIONS TO CONFIRM CONSTRUCTABILITY. ANY CONFLICTS OR OMISSIONS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF WORK. EXACT DEVICE AND FIXTURE LOCATIONS MAY VARY. COORDINATE WITH EXISTING CONDITIONS ON A UNIT BY UNIT BASIS.
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- H. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE. UNLESS OTHERWISE NOTED, DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF FINISHES.

SHEET KEYNOTES

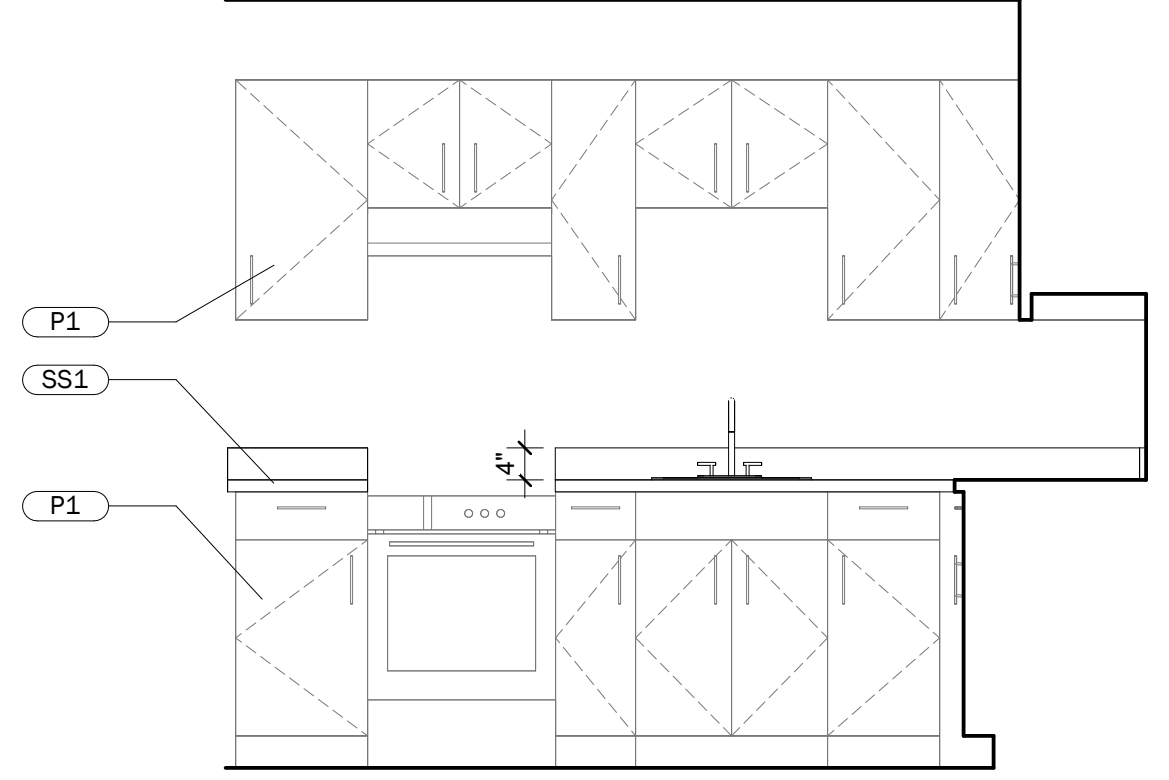
- 01 PRIME AND PAINT EXISTING UPPER AND LOWER CABINET BOXES, FACE FRAMES AND DOORS. INSTALL NEW SOLID SURFACE COUNTER TOP WITH 4" BACKSPLASH. SEE MEP DRAWINGS FOR NEW PLUMBING FIXTURES.
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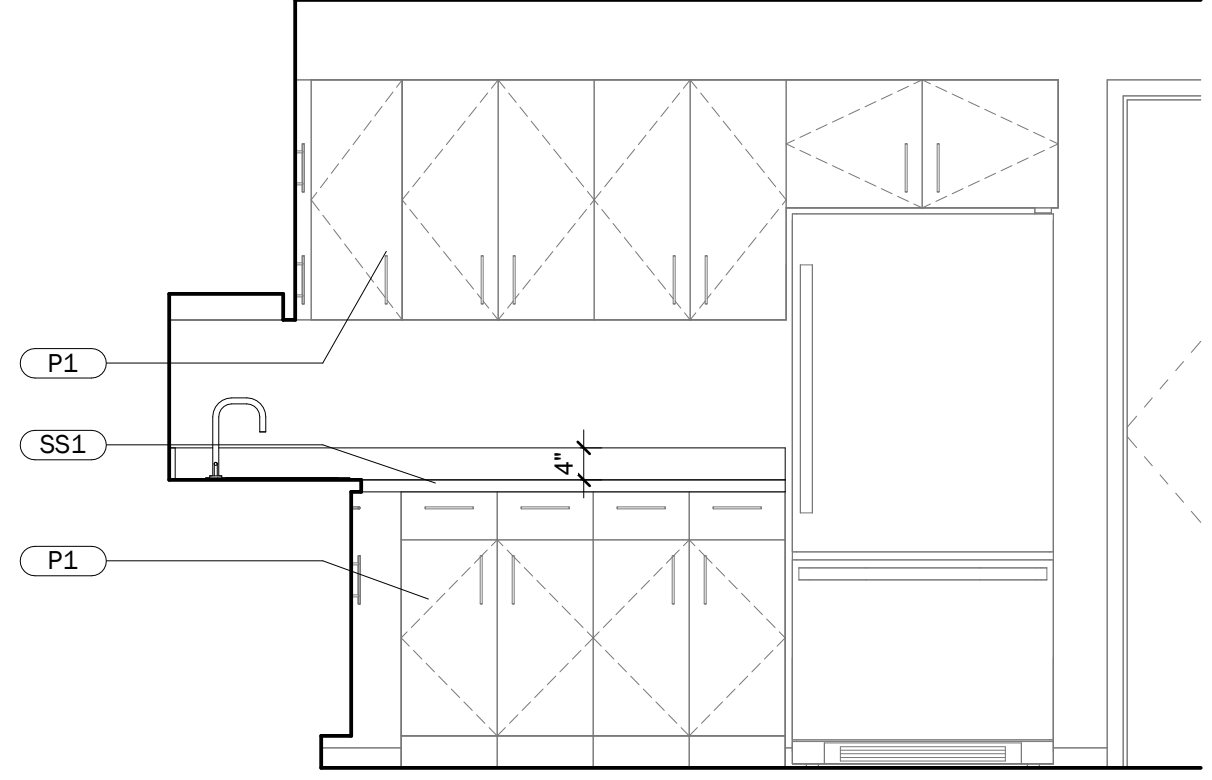
1D FLOOR PLAN - 1BR.C
A111.C 1/4" = 1'-0"



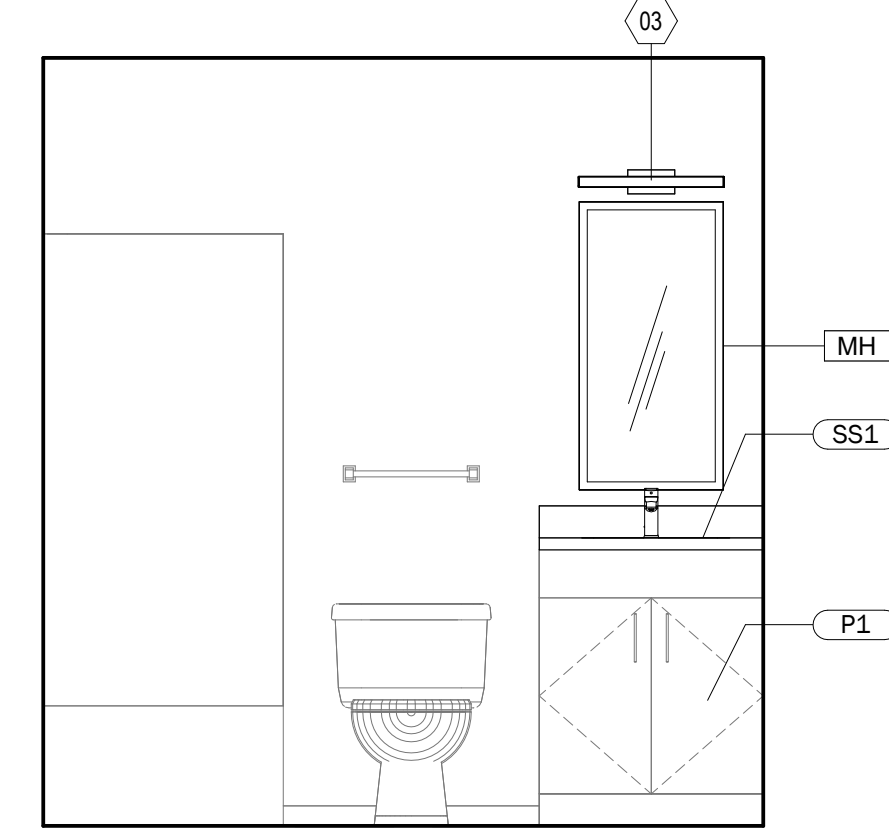
4D REFLECTED CEILING PLAN - 1BR.C
A111.C 1/4" = 1'-0"



1C KITCHEN ELEVATION 1 - 1BR.C
A111.C 1/2" = 1'-0"



3C KITCHEN ELEVATION 2 - 1BR.C
A111.C 1/2" = 1'-0"



4C BATHROOM ELEVATION, TYP. - 1BR.C
A111.C 1/2" = 1'-0"

FINISH SCHEDULE

| FINISH CATEGORY | FINISH TYPE & NUMBER | TYPE DESCRIPTION | MANUFACTURER | PRODUCT | COLOR | FINISH | SIZE | LOCATION |
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TOILET ACCESSORIES SCHEDULE

| Type Mark | Manufacturer | Model | Description |
|-----------|--------------|-----------|------------------------------------|
| MH | BRADLEY | MODEL 781 | CHANNEL FRAME MIRROR (18"W x 36"H) |



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PROJECT TEAM
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PROJECT MANAGER
S KERSCHEN
DESIGN TEAM
Designer

Village Apartments Interior Renovation, FMU
4822 E Palmetto St
Florence, SC 29506
OSE PROJECT NUMBER - H18-N095-SG

PROJECT NO. 4142197600

SHEET TITLE
ENLARGED FLOOR PLAN, CEILING PLAN, & ELEVATIONS - 1BR.C

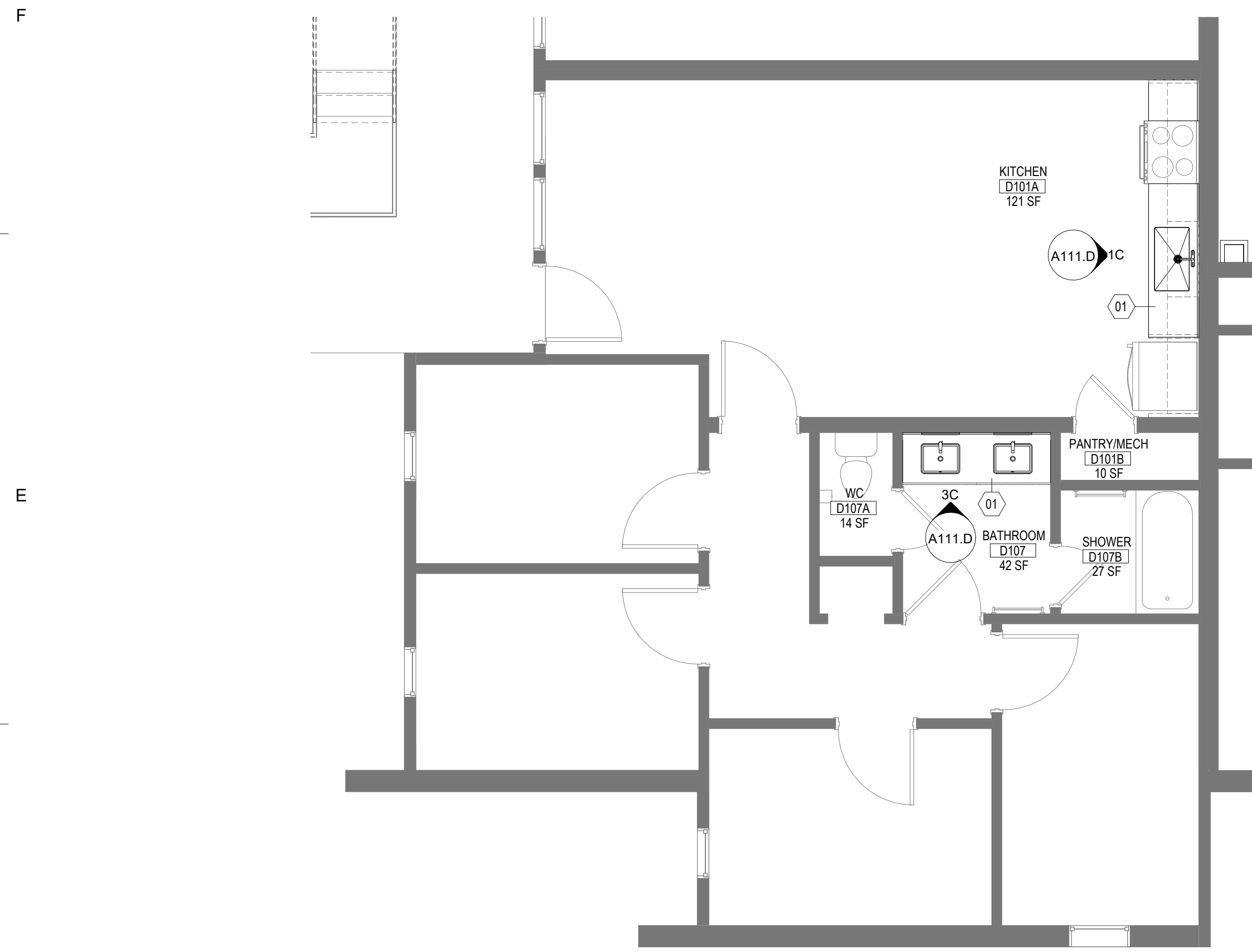
SHEET NUMBER
A111.C

SHEET GENERAL NOTES

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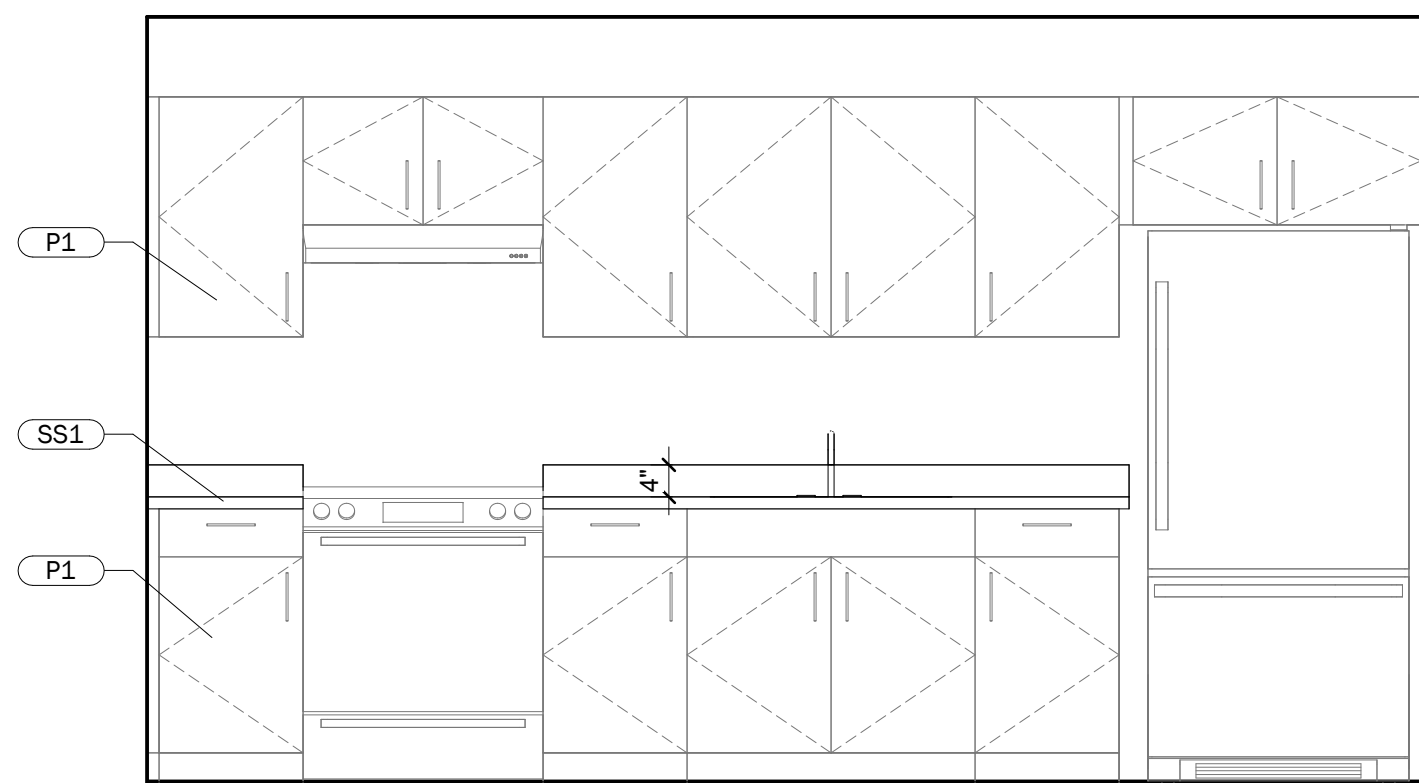
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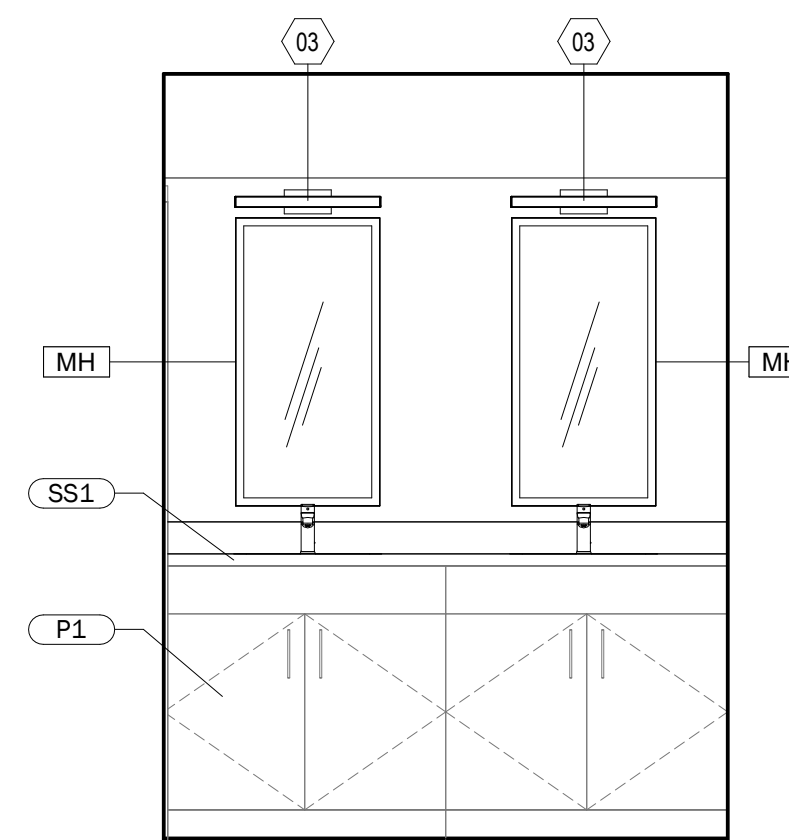
1D FLOOR PLAN - TYP. 4BR.D
A111.D 1/4" = 1'-0"



4D REFLECTED CEILING PLAN - TYP. 4BR.D
A111.D 1/4" = 1'-0"



1C KITCHEN ELEVATION - 4BR.D
A111.D 1/2" = 1'-0"

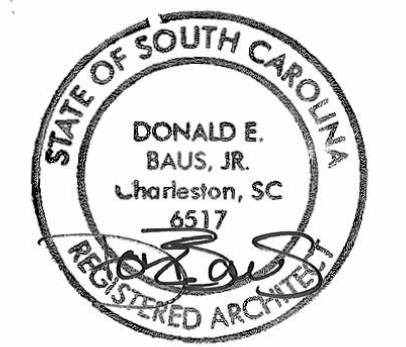
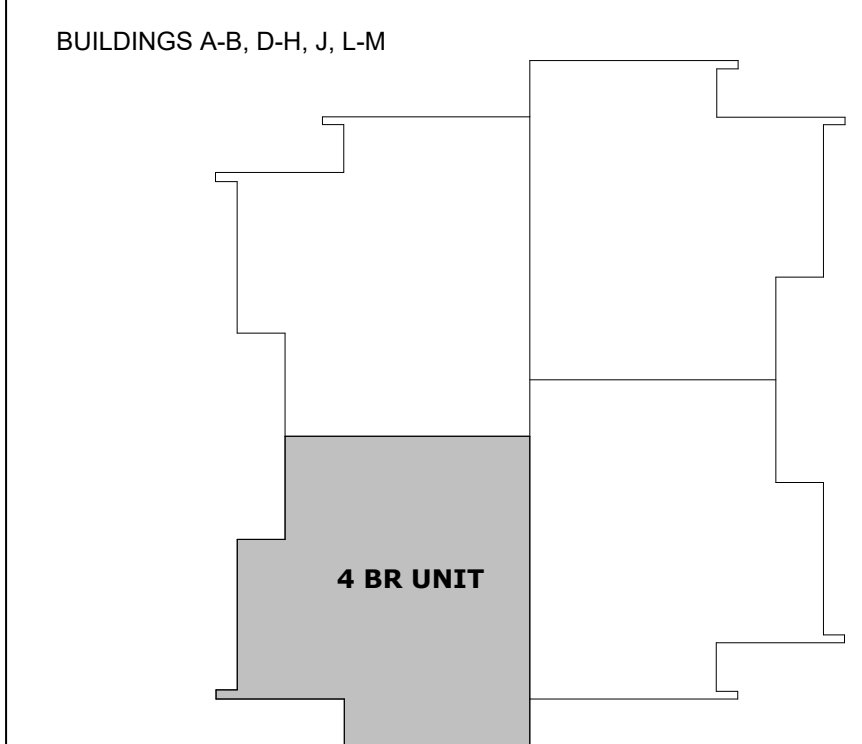


3C BATHROOM ELEVATION - 4BR.D
A111.D 1/2" = 1'-0"

| FINISH SCHEDULE | | | | | | | | |
|-----------------|----------------------|------------------|------------------|---|--------------------|--------|-------------------|--|
| FINISH CATEGORY | FINISH TYPE & NUMBER | TYPE DESCRIPTION | MANUFACTURER | PRODUCT | COLOR | FINISH | SIZE | LOCATION |
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| CASEWORK | SS1 | SOLID SURFACE | LG HI-MAC | SOLID SURFACE | RIPE COTTON G518R | -- | 30" X 146" SHEETS | KITCHEN, BATHROOM |

| TOILET ACCESSORIES SCHEDULE | | | |
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| Type Mark | Manufacturer | Model | Description |
| MH | BRADLEY | MODEL 781 | CHANNEL FRAME MIRROR (18"W x 36"H) |

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S KERSCHEN

DESIGN TEAM
Designer
Don Baus
Village Apartments Interior Renovation, FMU
4822 E Palmetto St
Florence, SC 29506
OSE PROJECT NUMBER - H18-N095-SG

PROJECT NO.
4142197600

SHEET TITLE
ENLARGED FLOOR PLAN, CEILING PLAN, & ELEVATIONS - 4BR.D - LEVEL 01

SHEET NUMBER
A111.D

LEGEND

GENERAL

| | |
|------------|---|
| ----- | DEMOLITION PIPING |
| _____ | EXISTING PIPING |
| _____ | NEW PIPING |
| SS | SANITARY SEWER |
| ---- | DOMESTIC COLD WATER, CW |
| ---110°--- | DOMESTIC HOT WATER, HW (110°F) |
| ----- | DOMESTIC HOT WATER, HW (140°F) |
| ---110°--- | DOMESTIC HOT WATER RECIRCULATING, HWR (110°F) |
| ---HWR--- | DOMESTIC HOT WATER RECIRCULATING, HWR (140°F) |
| ----- | NATURAL GAS |
| ----- | VENT PIPING |
| ○ | PIPE TURNING DOWN |
| ○ | PIPE TURNING UP |
| ○ | BRANCH BOTTOM CONNECTION |
| + | BRANCH SIDE CONNECTION |
| + | BRANCH TOP CONNECTION |
| ○ CO | CLEANOUT |
| ○ ECO | CLEANOUT, FLOOR TYPE |
| ○ YCO | CLEANOUT, YARD TYPE |
| □ FD | FLOOR DRAIN WITH DEEP SEAL P-TRAP |
| □ FD | FLOOR DRAIN WITH TRAP PRIMER |
| + | HOSE BIBB (HB) |
| + | WALL HYDRANT (WH) |
| | UNION |
| ⊗ | AIR GAP FITTING |
| WCO | WALL CLEANOUT |
| COP | CLEANOUT PLUG |
| | VENT THROUGH ROOF - DIAGRAMMATIC (VTR) |
| ⊗ | SHOCK ARRESTOR (SA) |
| ■ | LIMIT OF DEMOLITION WORK |
| ○ | CONNECT TO EXISTING |
| (E) | EXISTING |

VALVES AND ACCESSORIES

| | |
|---|---|
| ▲ | AUTOMATIC AIR VENT |
| ⊗ | AUTOMATIC FLOW CONTROL VALVE |
| ⊗ | BACKFLOW PREVENTER (BFP) |
| ○ | BALL VALVE |
| ⊗ | BUTTERFLY VALVE |
| □ | CAPPED PIPE |
| ⊗ | CHECK VALVE |
| ⊗ | CONCENTRIC REDUCER |
| ▶ | DIRECTION OF FLOW |
| ⊗ | ECCENTRIC REDUCER |
| | FLANGED CONNECTION |
| ⊗ | FLEXIBLE CONNECTION |
| ⊗ | FLOW METER |
| ⊗ | GATE VALVE |
| ⊗ | GLOBE VALVE |
| ▲ | MANUAL AIR VENT |
| ○ | METERED BALANCING VALVE W/PRESSURE TAPS |
| ⊗ | GAS COCK |
| | PIPE SLEEVE |
| ⊗ | PRESSURE REDUCING VALVE |
| ⊗ | PRESSURE RELIEF VALVE |
| ⊗ | PRESSURE GAUGE WITH GAUGE COCK |
| ⊗ | SQUARE HEAD COCK |
| ⊗ | STRAINER |
| ⊗ | STRAINER W/BLOW DOWN VALVE |
| ⊗ | THERMOMETER |
| ⊗ | VACUUM BREAKER |
| ⊗ | SOLENOID VALVE |

RENOVATION AND DEMOLITION NOTES:

- ALL ABANDONED SANITARY, VENT, DRAINAGE AND STORM PIPING SHALL BE REMOVED BACK TO CLOSEST EXISTING MAIN (TO REMAIN), TO PREVENT DEAD ENDS. OPEN ENDS SHALL BE CAPPED WITH A GAS AND WATER TIGHT FITTING. AREAS NOT ASSOCIATED WITH THE RENOVATIONS SHALL NOT BE DISTURBED. WHERE ABANDONED PIPING IS LOCATED WITHIN AREA SUCH AS WALLS, AND CEILINGS THAT ARE NOT WITHIN THE RENOVATION SCOPE OF WORK, THEN BOTH ENDS OF DRAINAGE, WASTE AND/OR VENT PIPING SHALL BE CAPPED.
- ANY ITEMS NOT SHOWN TO BE DEMOLISHED, THAT ARE DAMAGED DURING THE EXECUTION OF THIS WORK SCOPE, SHALL BE REPAIRED BY THE CONTRACTOR.
- WHERE VENT PIPING IS REMOVED AND NO NEW PIPING IS CONNECTED TO EXISTING VENT-THROUGH-ROOF PENETRATIONS, THE ABANDONED VENT-THROUGH-ROOF SHALL BE CAPPED ABOVE THE ROOF AND BELOW THE ROOF IN THE CEILING SPACE. THIS VERTICAL PIPE SHALL BE SECURED TO STRUCTURE IN AN APPROVED MANNER. ALL PIPING CAPS SHALL BE WATER AND GAS TIGHT CONNECTIONS IN A PERMANENT PIPING ARRANGEMENT.
- NEW REPLACEMENT FIXTURES SHALL TIE IN TO EXISTING PIPING IF PIPE SIZING MEETS CODE MINIMUM SIZES. NEW FIXTURES INSTALLED WHERE NONE ARE EXISTING SHALL MEET SCHEDULED PIPE REQUIREMENTS.
- THESE DRAWINGS ARE BASED ON FIELD OBSERVATIONS AND EXISTING DRAWINGS PROVIDED TO THE A/E BY THE OWNER. THE DRAWINGS ARE FROM PREVIOUS PROJECT(S), WHEN AVAILABLE. FIELD OBSERVATIONS, HOWEVER, PROVIDED LITTLE DATA, AS MOST OF THE INSTALLATIONS WERE INACCESSIBLE FOR VISUAL CONFIRMATION. THE INTENT OF THESE DRAWINGS IS TO PROVIDE AS MUCH INFORMATION TO THE CONTRACTOR AS POSSIBLE. HOWEVER, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ACTUAL FIELD CONDITIONS AND INFORMATION PROVIDED HEREIN.
- AS EXISTING PIPING IS ENCOUNTERED, THE CONTRACTOR SHALL ASSESS THE CONDITION OF THE PIPING BEFORE TIE-INS ARE MADE. IF THE PIPING IS BELIEVED TO BE IN POOR CONDITION OR NOT ADEQUATE FOR USE AS INTENDED, THE CONTRACTOR SHALL IMMEDIATELY REPORT SUCH TO THE A/E. TIE-INS ARE NOT TO PROCEED UNTIL CONTRACTOR HAS RECEIVED A RESPONSE FROM THE A/E.
- WHEN CONSTRUCTION IS COMPLETE, CONTRACTOR SHALL THOROUGHLY CLEAN ALL FIXTURES, EQUIPMENT AND SYSTEMS BEFORE PLACING IN OPERATION OR TURN OVER TO THE OWNER. RESTORE FINISHED SURFACES IF DAMAGED AND DELIVER THE ENTIRE INSTALLATION IN AN APPROVED CONDITION.
- ADEQUATE PROTECTION SHALL BE PROVIDED FOR THE BUILDING(S) AND CONTENTS DURING THE PERFORMANCE OF THE WORK. TRASH REMOVAL SHALL BE PERFORMED DAILY AND COORDINATED WITH THE OWNER'S REPRESENTATIVE TO PREVENT ITS ACCUMULATION, TO ENSURE PROPER DISPOSAL OF MATERIALS, AND TO PROTECT THE PROPERTY. CONTRACTOR SHALL CONTROL DUST AND DEBRIS TO PREVENT SPREAD INTO THE BUILDING(S).
- NEATLY CORE-DRILL AND/OR SAW-CUT FLOORS, WALLS, SIDEWALKS AND PAVING AS REQUIRED. INSTALL NEW FIXTURES AND APPROPRIATE PIPING AND REPAIR FINISHES TO MATCH EXISTING. CORE-DRILL AND/OR SAW-CUT HOLES AND SLOTS AS SMALL AS POSSIBLE. DO NOT CUT BUILDING ELEMENTS WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER OR AUTHORIZED REPRESENTATIVE.

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE CURRENTLY ADOPTED PLUMBING CODE EDITION AND ALL LOCAL CODES, AMENDMENTS, RULES AND REGULATIONS INCLUDING THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES, OSHA ACTS AND REGULATIONS, AND THE REQUIREMENTS OF THE LOCAL AUTHORITIES HAVING JURISDICTION.
- OPENINGS THRU WALLS, FLOORS AND ROOFS SHALL BE FLASHED AND SEALED WATER TIGHT. PENETRATIONS THROUGH SMOKE OR FIRE-RATED WALLS AND/OR PARTITIONS SHALL BE SEALED TO MAINTAIN RATING PER ASTM E-814 AND BUILDING CODE REQUIREMENTS.
- INTERRUPTIONS OF SERVICES SHALL BE COORDINATED WITH THE OWNER AND OTHER TRADES AT LEAST 48 HOURS IN ADVANCE OF THE WORK BEING PERFORMED. DISRUPTION TIME SHALL BE KEPT TO A MINIMUM.
- UNLESS OTHERWISE INDICATED, ALL PIPING SHALL BE RUN IN CONCEALED SPACES IN WALLS, IN CHASES OR BETWEEN CEILINGS AND INSULATION ABOVE. PIPES SHALL BE RUN AT RIGHT ANGLES OR PARALLEL LINES WITH BUILDING WALLS AND ROUTED WITH STRUCTURAL MEMBERS IN EXPOSED AREAS. PLUMBING SHALL COORDINATE WITH MECHANICAL DUCTWORK IN ALL CHASES. SUPPORT ALL INTERIOR PIPING FROM BUILDING STRUCTURE BY MEANS OF PIPE STANDS, HANGERS OR INSERTS TO MAINTAIN REQUIRED GRADING AND PITCHING OF LINES, TO PREVENT VIBRATION AND TO SECURE PIPING IN PLACE. SOIL WASTE AND VENT STACKS SHALL BE SUPPORTED AT THE BASE BY MEANS OF PIERS OR HEAVY-DUTY RISER CLAMPS IN PLACE. SOIL WASTE AND VENT RISERS AND SECURED AT EACH FLOOR BY MEANS OF HEAVY-DUTY IRON RISER CLAMPS. PROTECT COPPER PIPING AGAINST CONTACT WITH MASONRY OR DISSIMILAR METALS. COPPER PIPING HANGERS, SUPPORTS, ANCHORS AND CLIPS SHALL BE COPPER OR COPPER PLATED. PROVIDE CLEANOUTS AT THE BASE OF EACH WASTE OR INTERIOR STORM DRAINAGE STACK. WCO AND COP AT BASE OF STACKS SHALL BE 12" TO 15" AFF. FLAT WALL CLEANOUT COVERS SHALL BE FLUSH WITH FINISHED WALL SURFACE. DEEP COVERS ARE NOT ACCEPTABLE. EXPOSED PIPING SHALL BE LABELED WITH SERVICE AND DIRECTION OF FLOW EVERY 20 FEET, AND IN EACH ROOM. ALL VALVES SHALL BE TAGGED. EXPOSED PIPING CONNECTIONS IN OCCUPIED SPACES SHALL BE CHROME PLATED.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ITEMS TO BE FURNISHED FIT THE SPACE AVAILABLE. CONTRACTOR TO VERIFY LOCATIONS OF ALL SERVICES AND CONNECTION POINTS. CONTRACTOR SHALL FIELD CONFIRM ALL PIPE SIZES AND LOCATIONS, AND ALL DIMENSIONS AND ELEVATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTRACTING AND PAYING ALL FEES FOR UTILITY LOCATOR SERVICE TO LOCATE PUBLIC AND PRIVATE UTILITIES AND UNDERGROUND STRUCTURES BEFORE DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES INCURRED AS A RESULT OF THIS WORK. ALL DISCOVERIES SHALL BE ACCURATELY SHOWN ON THE RECORD DRAWINGS.
- THE DRAWINGS ARE INTENDED TO COVER THE COMPLETE PLUMBING SYSTEMS. HOWEVER, THE DRAWINGS MAY NOT SHOW COMPLETE OR ACCURATE DETAILS OF THE BUILDING OR SYSTEMS IN EVERY RESPECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM FIELD CONDITIONS AND OBTAIN ANY ADDITIONAL INFORMATION AS REQUIRED. DO NOT SCALE FROM CONTRACT DRAWINGS.
- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION SELECTED BY THE CONTRACTOR OF THE SAFETY PRECAUTIONS AND PROGRAMS INCIDENTAL TO THE WORK OF THE CONTRACTOR TO PERFORM THE CONSTRUCTION WORK IN ACCORDANCE WITH OSHA, APPLICABLE CODES, THE DRAWINGS AND SPECIFICATIONS.
- PROVIDE DIELECTRIC UNIONS OR OTHER NON-CONDUCTIVE MEANS TO PREVENT ELECTROLYSIS.
- SANITARY TIE-INS SHALL BE MADE WITH SANITARY TEES IN THE VERTICAL AND WYES IN THE HORIZONTAL. SANITARY PIPE CONNECTIONS SHALL NOT BE REDUCED IN SIZE WITHOUT PRIOR APPROVAL OF THE A/E.
- ALL DISCONNECT SWITCHES, MOTOR STARTERS ASSOCIATED WITH DIVISION 22 EQUIPMENT SHALL BE FURNISHED BY THE DIVISION 22 CONTRACTOR AS APPLICABLE. WHERE COMBINATION MOTOR STARTERS ARE PROVIDED WITH INPUT POWER DISCONNECT SWITCH WITH OPERABLE HANDLE, A SEPARATE DISCONNECT SWITCH AT MOTOR STARTER IS NOT REQUIRED. COORDINATE ELECTRICAL POWER REQUIREMENTS OF ALL DIVISION EQUIPMENT WITH DIVISION 26 CONTRACTOR FOR DISCONNECT SWITCHES, MOTOR STARTERS, FEEDER BREAKER AND CABLE SIZE TO BE ACCURATE PER EQUIPMENT NAMEPLATE DATA. REFER TO ELECTRICAL SPECIFICATIONS FOR ELECTRICAL DEVICES SPECIFICATIONS. VFD'S FOR DIVISION 22 WILL BE PROVIDED BY THIS DIVISION CONTRACTOR IN ACCORDANCE WITH DIVISION 26 REQUIREMENTS.
- CONTRACTOR SHALL INSTALL FIXTURES, EQUIPMENT AND MATERIALS IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS, AND APPLICABLE CODES. INSTALL ADA FIXTURES AT THE HEIGHTS PRESCRIBED BY THE CODES HAVING JURISDICTION. MAKE PROPER PIPING CONNECTIONS TO FIXTURES AND EQUIPMENT EVEN THOUGH BRANCH MAINS, ELBOWS AND CONNECTIONS ARE NOT SHOWN. COORDINATE WITH ARCHITECTURAL DRAWINGS BEFORE ROUGH-IN PLUMBING FIXTURES. PROVIDE STOPS ON ALL PLUMBING FIXTURE WATER SUPPLIES. SENSOR OPERATED FLUSH VALVES SHALL BE MOUNTED AT A HEIGHT WHEREAS RAISED WATER CLOSET SEATS SHALL NOT INTERFERE WITH FLUSH VALVE OPERATION.
- CENTER OF FLOOR DRAINS RECEIVING DRAINAGE FROM BFP TEST PORTS, T&P RELIEF VALVE DISCHARGES AND OTHER CLEAR WATER WASTES SHALL BE LOCATED WITHIN 12" OF ITEMS OF EQUIPMENT, EQUIPMENT PADS OR ADJACENT WALLS. PIPES ROUTED TO THESE FLOOR DRAINS SHALL BE ROUTED IN SUCH A WAY AS TO NOT CAUSE A TRIPPING HAZARD.
- PROVIDE 4" HIGH (MIN.) CONCRETE HOUSEKEEPING PADS FOR ALL FLOOR MOUNTED EQUIPMENT. PAD SHALL BE A MINIMUM OF 6" LARGER IN ALL DIRECTIONS THAN THE EQUIPMENT.
- LOCATE ALL VALVES ABOVE ACCESSIBLE CEILING WHERE POSSIBLE. PROVIDE ACCESS DOORS FOR ALL CONCEALED VALVES IN INACCESSIBLE LOCATIONS.
- INSTALL EQUIPMENT TO FACILITATE SERVICING, MAINTENANCE, AND REPAIR OR REPLACEMENT OF EQUIPMENT COMPONENTS. AS MUCH AS PRACTICAL, CONNECT EQUIPMENT FOR EASE OF DISCONNECTING, WITH A MINIMUM OF INTERFERENCE WITH OTHER INSTALLATIONS. PIPING SHALL NOT INTERFERE WITH COMPONENT CLEARANCES. UNIONS AND/OR FLANGES SHALL BE INSTALLED AT EACH PIECE OF EQUIPMENT TO PERMIT DISASSEMBLY FOR ALTERATION AND REPAIRS. PROVIDE FLEXIBLE CONNECTIONS IN PIPING SYSTEMS CONNECTED TO PUMPS AND OTHER EQUIPMENT REQUIRING VIBRATION ISOLATION AS CLOSE TO EQUIPMENT AS POSSIBLE, UNLESS SHOWN OTHERWISE ON DRAWINGS.
- ANY ITEMS THAT ARE DAMAGED, SHALL BE REPAIRED BY THE CONTRACTOR.
- ALL PIPING CAPS SHALL BE WATER AND GAS TIGHT CONNECTIONS IN A PERMANENT PIPING ARRANGEMENT.
- NEW FIXTURES INSTALLED SHALL MEET SCHEDULED PIPE REQUIREMENTS.
- P. C. SHALL BALANCE HOT WATER RETURN SYSTEM TO INSURE ADEQUATE FLOW OF HOT WATER TO EACH FIXTURE REQUIRING HOT WATER, PER PLAN(S).
- CONTRACTOR SHALL COORDINATE HIS/HER WORK WITH THAT OF OTHER TRADES.
- THE CONTRACTOR SHALL MAKE A PERSONAL INSPECTION OF THE SITE AND INCLUDE PERFORMING ALL WORK REQUIRED BY THE DRAWINGS AND SPECIFICATIONS. FIELD VERIFY INFORMATION PROVIDED ON THE DRAWINGS AND EXISTING CONDITIONS, INCLUDING: LOCATIONS, ELEVATIONS, DIMENSIONS AND QUANTITIES REQUIRED FOR THE WORK. NOTIFY A/E IN WRITING OF ANY ADDITIONAL WORK THAT MAY BE REQUIRED TO ACCOMPLISH THE SCOPE OF WORK AND/OR ACCOMMODATE FIELD INCONSISTENCIES WITH OR IN THE DRAWINGS AND/OR SPECIFICATIONS.
- WHEN CONSTRUCTION IS COMPLETE, CONTRACTOR SHALL THOROUGHLY CLEAN ALL FIXTURES, EQUIPMENT AND SYSTEMS BEFORE PLACING IN OPERATION OR TURN OVER TO THE OWNER. RESTORE FINISHED SURFACES IF DAMAGED AND DELIVER THE ENTIRE INSTALLATION IN AN APPROVED CONDITION.
- ADEQUATE PROTECTION SHALL BE PROVIDED FOR THE BUILDING(S) AND CONTENTS DURING THE PERFORMANCE OF THE WORK. CONTRACTOR SHALL BE RESPONSIBLE AS TO NOT TO ALLOW ON-SITE ACCUMULATION OF DEBRIS OR DEMOLISHED MATERIALS. HE/SHE SHALL PROMPTLY AND LEGALLY TRANSPORT AND DISPOSE OF MATERIALS OFF-SITE. TRASH REMOVAL SHALL BE PERFORMED DAILY AND COORDINATED WITH THE OWNER'S REPRESENTATIVE TO PREVENT ITS ACCUMULATION. TO ENSURE PROPER DISPOSAL OF MATERIALS, AND TO PROTECT THE PROPERTY, CONTRACTOR SHALL CONTROL DUST AND DEBRIS TO PREVENT SPREAD INTO THE BUILDING(S). DO NOT BURN DEBRIS OR DEMOLISHED MATERIALS. ALL DISPOSAL COSTS TO BE BORNE BY CONTRACTOR.
- FOR ALL INVERT ELEVATIONS, FINISHED FLOORS SHALL BE ASSUMED TO BE 0'-0"
- UNLESS OTHERWISE NOTED ON PLANS ALL HOT WATER SUPPLY 140'.
- THIS CONTRACTOR TO BE RESPONSIBLE FOR ALL LOW VOLTAGE WIRING.

PLUMBING FIXTURE SCHEDULE

| MARK | FIXTURE | MANUFACTURER | MODEL | FAUCET/VALVE | | CONNECTIONS | | | | DESCRIPTION | REMARKS |
|------|--|-------------------|-----------|--------------|-----------------------|-------------|------|-------|--------|---|---------------|
| | | | | MANUFACTURER | MODEL | CW | HW | WASTE | VENT | | |
| L-1 | LAVATORY - BATHROOM (1BR.C, 4BR.D, 1BR.AB ADD ALT) | AMERICAN STANDARD | 0614.000 | ZURN | AQUASPEC Z82200-XL-3M | 1/2" | 1/2" | 2" | 1-1/2" | WHITE VITREOUS CHINA, UNDERMOUNT LAVATORY, MANUAL OPERATED FAUCET, POLISHED CHROME PLATED CAST BRASS SINGLE LAVATORY FAUCET WITH WATER SAVING AERATOR AND MCGUIRE "PROWRAP" MODEL PW2150WC OFF-SET WASTE, P-TRAP, GRID WASTE AND SUPPLIES ALL COATED WITH SEAMLESS ANTI-MICROBIAL PIPE INSULATOR MADE OF PVC RESIN. | HANDICAP TYPE |
| L-2 | LAVATORY - BATHROOM (1BR.AB) | ZURN | Z5350 | ZURN | AQUASPEC Z82200-XL-3M | 1/2" | 1/2" | 2" | 1-1/2" | WHITE VITREOUS CHINA, WALL MOUNTED SINK WITH CARRIER, SINGLE HOLE SINK, MANUAL OPERATED FAUCET, POLISHED CHROME PLATED CAST BRASS SINGLE LAVATORY FAUCET WITH WATER SAVING AERATOR AND MCGUIRE "PROWRAP" MODEL PW2150WC OFF-SET WASTE, P-TRAP, GRID WASTE AND SUPPLIES ALL COATED WITH SEAMLESS ANTI-MICROBIAL PIPE INSULATOR MADE OF PVC RESIN. | HANDICAP TYPE |
| S-1 | KITCHEN SINK (1BR.AB, 1BR.C) | ELKAY | HDU24189F | ELKAY | LK1501CR | 1/2" | 1/2" | 2" | 1-1/2" | STAINLESS STEEL 24"x18"x9" SINGLE COMPARTMENT SINK, MANUAL OPERATED FAUCET, POLISHED CHROME PLATED, PROVIDE LK3SL DRAIN, COMMERCIAL GRADE HEAVY PATTERN STOPS, 17 GAUGE P-TRAP, ADA COMPLIANT. PROVIDE WITH MCGUIRE "PROWRAP" MODEL PW2150WC OFF-SET WASTE WITH P-TRAP AND SUPPLIES ALL COATED WITH SEAMLESS ANTI-MICROBIAL PIPE INSULATOR MADE OF PVC RESIN. | HANDICAP TYPE |
| S-2 | KITCHEN SINK (4BR.D) | ELKAY | HDU32189F | ELKAY | LK1501CR | 1/2" | 1/2" | 2" | 1-1/2" | STAINLESS STEEL 31"x18"x9" SINGLE COMPARTMENT SINK, MANUAL OPERATED FAUCET, POLISHED CHROME PLATED, PROVIDE LK3SL COMMERCIAL GRADE HEAVY PATTERN STOPS, 17 GAUGE P-TRAP, ADA COMPLIANT. PROVIDE WITH MCGUIRE "PROWRAP" MODEL PW2150WC OFF-SET WASTE WITH P-TRAP AND SUPPLIES ALL COATED WITH SEAMLESS ANTI-MICROBIAL PIPE INSULATOR MADE OF PVC RESIN. | HANDICAP TYPE |

FAN SCHEDULE

| MARK | SERVICE | TYPE | FAN CHARACTERISTICS | | | | | ELECTRICAL DATA | | | | | | |
|------|----------------------------|---------------------|---------------------|------------|------------|-----|-------|-----------------|-------|-----------|--------|--------|--------------|-------------|
| | | | AIRFLOW (CFM) | ESP | INPUT (KW) | RPM | SONES | VOLTAGE | PHASE | FREQUENCY | FLA | WEIGHT | MANUFACTURER | MODEL |
| EF-1 | RESTROOMS (1BR.AB & 1BR.C) | CEILING EXHAUST FAN | 100 | 0.25 in-wg | 11 | 939 | 1.5 | 115 V | 1 | 60 Hz | 0.29 A | 8 lb | GREENHECK | SP-LP0810WL |
| EF-2 | RESTROOMS (4BR.D) | CEILING EXHAUST FAN | 50 | 0.25 in-wg | 7 | 748 | 0.5 | 115 V | 1 | 60 Hz | 0.29 A | 8 lb | GREENHECK | SP-LP0810WL |

- NOTES:**
- PROVIDE EXHAUST FAN WITH GRAVITY BACK DRAFT DAMPER.
 - PROVIDE FAN WITH SPEED CONTROLLER.
 - PROVIDE FAN WITH NEMA RATED DISCONNECT.
 - MOTOR SHALL BE OPEN DRIP PROOF WITH PERMANENTLY LUBRICATED SEALED BEARINGS AND BUILT IN THERMAL OVERLOAD.
 - FAN SHALL BE CONTROLLED BY LIGHT SWITCH. REFER TO ELECTRICAL DRAWINGS.
 - FURNISHED / INSTALLED / WARRANTED BY MECHANICAL CONTRACTOR.



ISSUE FOR CONSTRUCTION DOCUMENTS

ISSUE DATE: 02/14/2025

REVISIONS NO. REASON DATE

1 OSE Comments 02/21/2025

PROJECT TEAM
PRINCIPAL IN CHARGE: DON BAUS
PROJECT MANAGER: SYDNEY KERSCHEN

DESIGN TEAM
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VILLAGE APARTMENTS INTERIOR RENOVATION, FMU
4822 E. PALMETTO ST, FLORENCE, SC 29506
OSE PROJECT NUMBER - H18-N095-SG

414.21976.00

MECHANICAL & PLUMBING COVER SHEET & SCHEDULES

SHEET NUMBER: MP001

GENERAL SHEET NOTES

- A. SEE SHEET MP001 FOR LEGEND AND GENERAL NOTES.
- B. ALL SYMBOLS ON SHEET MP001 ARE NOT NECESSARILY USED ON THIS PROJECT.
- C. PIPE RUNOUTS TO FIXTURES ARE AS SCHEDULED UNLESS NOTED OTHERWISE.
- D. INCLUDE ALL CUTTING/PATCHING OF EXISTING SLAB. OBTAIN WRITTEN APPROVAL FROM THE LANDLORD/OWNER PRIOR TO CUTTING/PATCHING.
- E. DRAWINGS WERE PREPARED BASED ON NON-DESTRUCTIVE FIELD WORK. EXISTING PIPING SHOWN ON PLANS IS SCHEMATIC AND MAY NOT NECESSARILY REPRESENT EXACT LOCATIONS. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING TO VERIFY EXISTING UTILITIES. NO ADDITIONAL COST ARE TO BE BORNE BY THE OWNER AS A RESULT OF UTILITY CONFIGURATION DISCREPANCIES THAT WOULD BE REASONABLY DETECTED AS A RESULT OF THIS PRE BID SITE VISIT.
- F. TYPICAL UNIT LAYOUT SHOWN. CONTRACTOR TO FIELD VERIFY CONDITIONS IN EACH UNIT AND NOTIFY ARCHITECTURAL TEAM IF SIGNIFICANT VARIATIONS EXIST. BEFORE PROCEEDING WITH WORK. EXACT DEVICE AND FIXTURE LOCATIONS MAY VARY. COORDINATE WITH EXISTING CONDITIONS ON A UNIT BY UNIT BASIS.

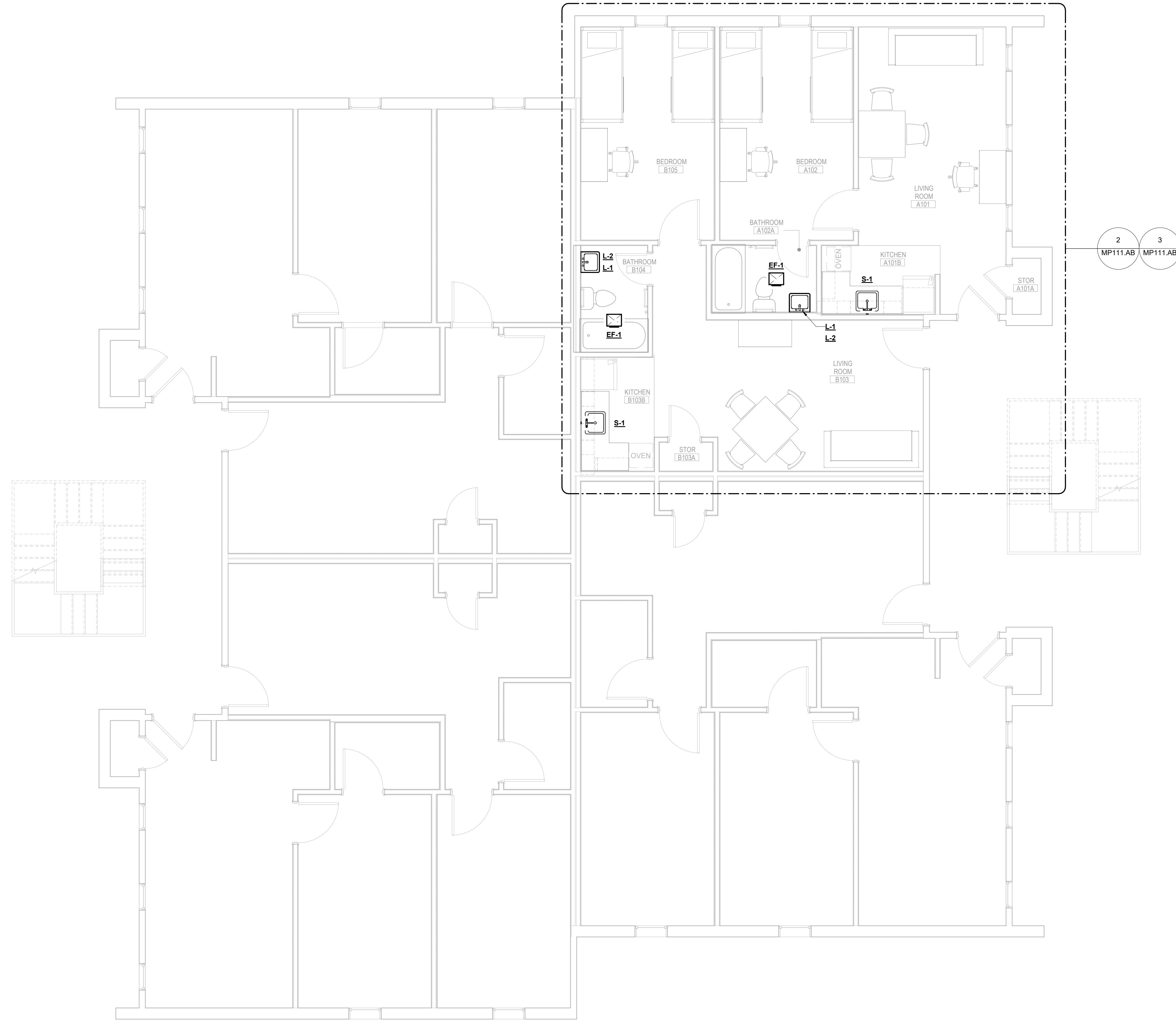
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| 1 | OSE Comments | 02/21/2025 |

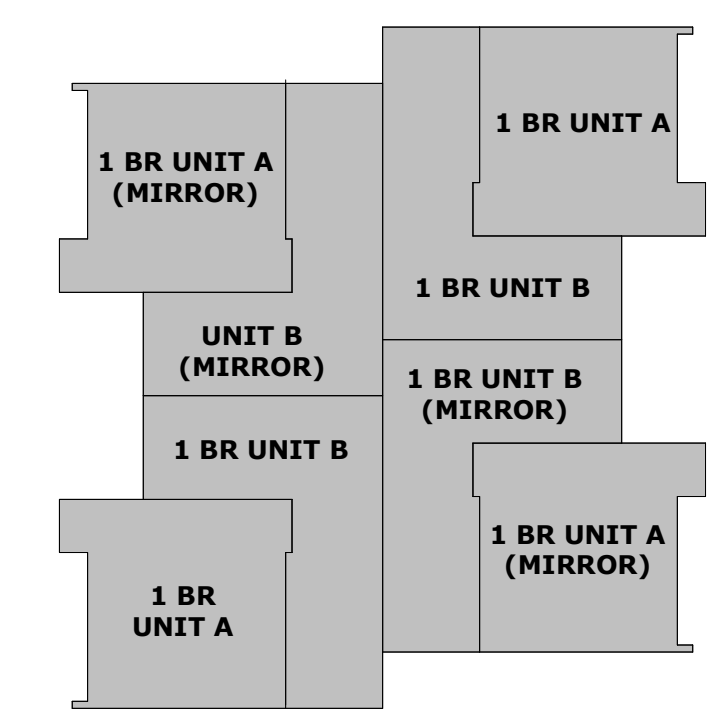
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DON BAUS
PROJECT MANAGER
SYDNEY KERSCHEN
DESIGN TEAM
JASON SVISTUN

PROJECT NAME
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4822 E. PALMETTO ST.
FLORENCE, SC 29506
OSE PROJECT NUMBER - H18-AN095-SG

PROJECT NO.
414.21976.00
SHEET TITLE
MECHANICAL & PLUMBING OVERALL FLOOR PLAN - 1BR.AB - LEVEL 01

SHEET NUMBER
MP101.AB

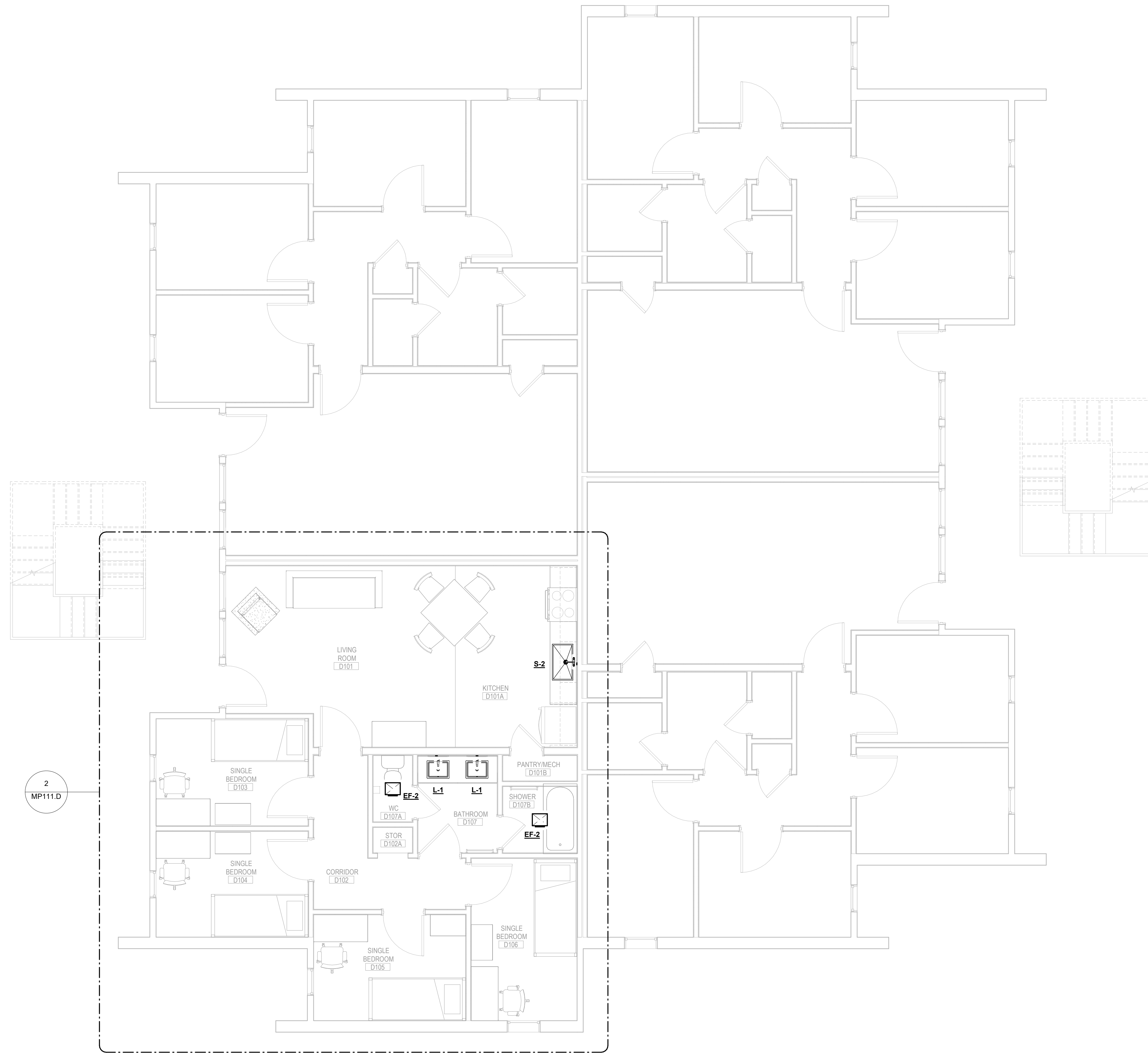
KEY PLAN



1 MECHANICAL & PLUMBING OVERALL FLOOR PLAN - 1BR.AB - LEVEL 01
MP101.AB 1/4" = 1'-0"

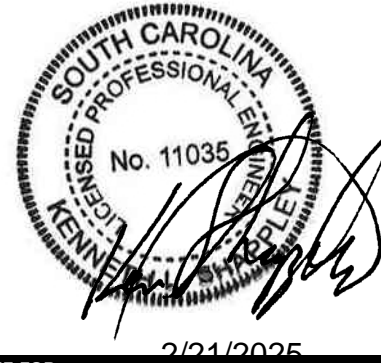
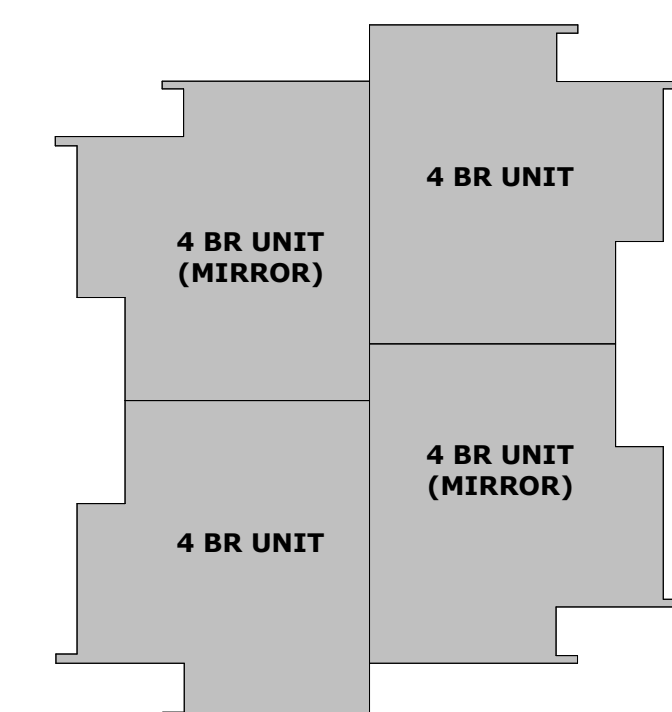
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- F. TYPICAL UNIT LAYOUT SHOWN. CONTRACTOR TO FIELD VERIFY CONDITIONS IN EACH UNIT AND NOTIFY ARCHITECTURAL TEAM IF SIGNIFICANT VARIATIONS EXIST. BEFORE PROCEEDING WITH WORK. EXACT DEVICE AND FIXTURE LOCATIONS MAY VARY. COORDINATE WITH EXISTING CONDITIONS ON A UNIT BY UNIT BASIS.



1 MECHANICAL & PLUMBING OVERALL FLOOR PLAN - 4BR.D - LEVEL 01
MP101.D 1/4" = 1'-0"

KEY PLAN



ISSUE FOR
CONSTRUCTION DOCUMENTS

ISSUE DATE
02/14/2025

| NO. | REASON | DATE |
|-----|--------------|------------|
| 1 | OSE Comments | 02/21/2025 |

PROJECT TEAM
PRINCIPAL IN CHARGE
DON BAUS
PROJECT MANAGER
SYDNEY KERSCHEN

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OSE PROJECT NUMBER -
H18-1095-SG**

414.21976.00

SHEET TITLE
**MECHANICAL & PLUMBING
OVERALL FLOOR PLAN -
4BR.D - LEVEL 01**

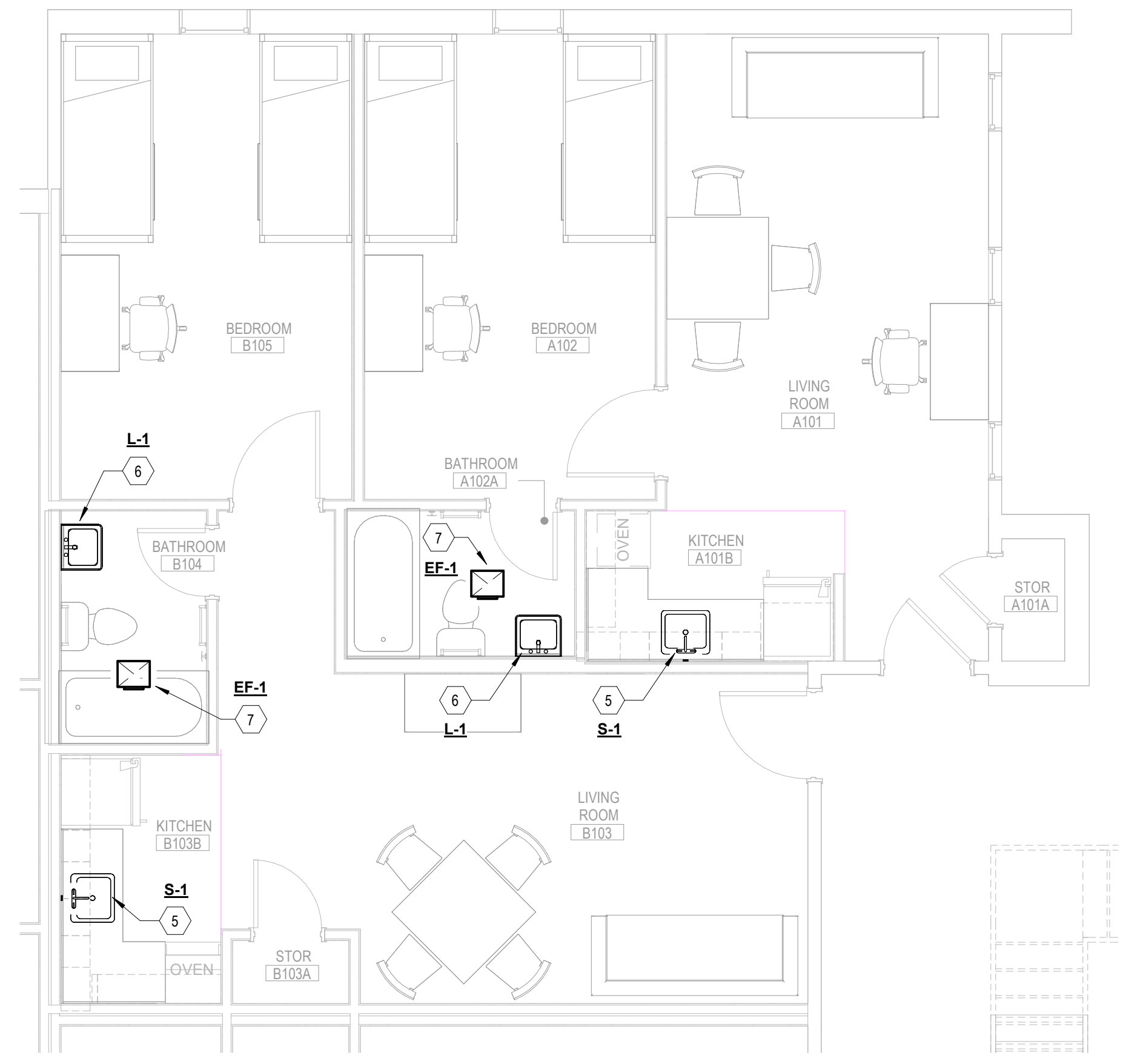
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MP101.D

KEY NOTES

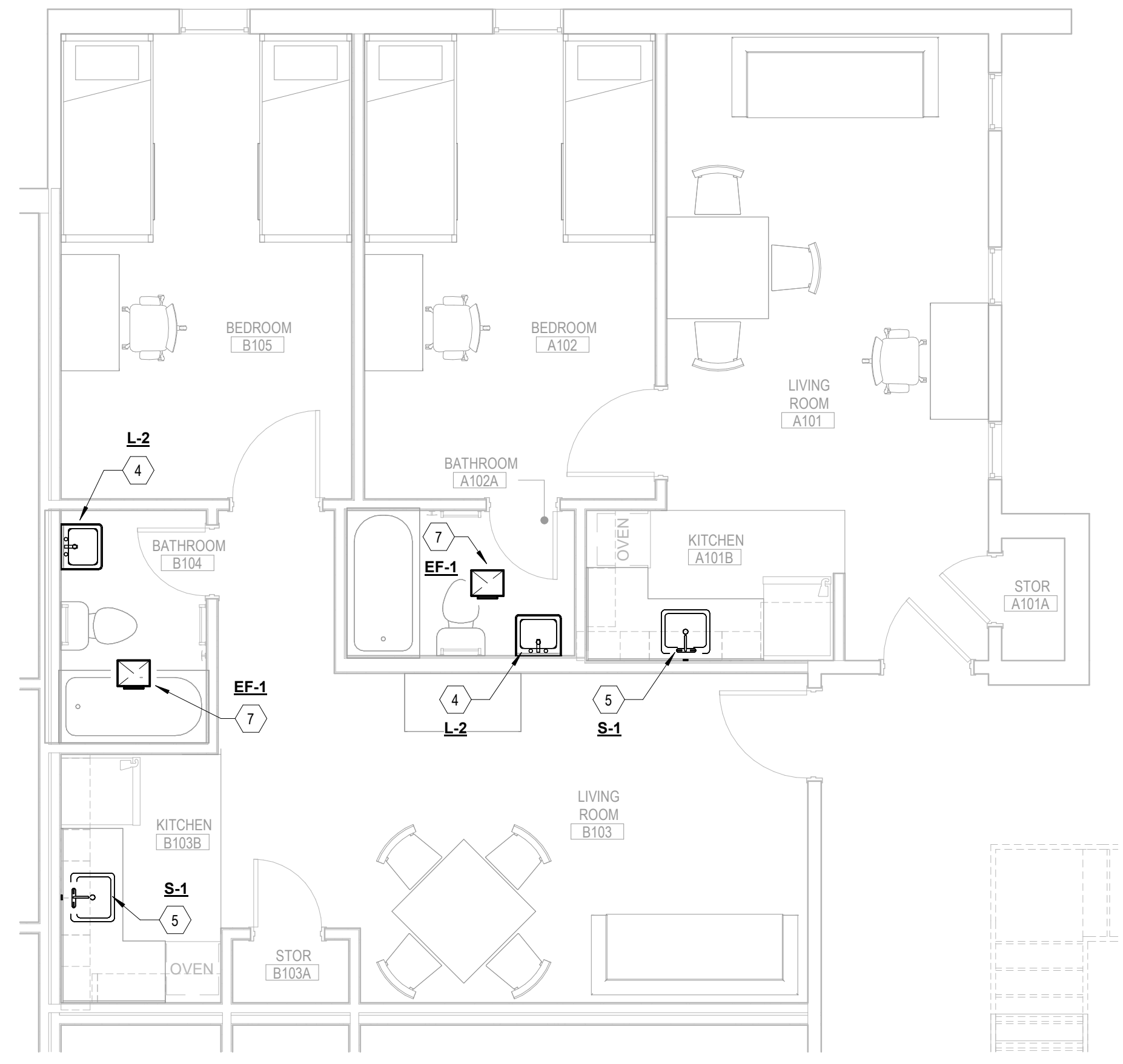
- REMOVE EXISTING WALL HUNG LAVATORY, CARRIER, FAUCET, DRAIN, AND ASSOCIATED TRIM. DISCONNECT ALL CW, HW, VENT, AND SANITARY STUB-OUTS / ROUGH-INS FROM LAVATORY. EXISTING STUB-OUTS / ROUGH-INS TO REMAIN. NEW WALL HUNG LAVATORY TO BE INSTALLED WITH NEW WORK, IN SAME APPROXIMATE LOCATION, AND RECONNECTED TO EXISTING CW, HW, VENT, AND SANITARY STUB-OUTS / ROUGH-INS. REPAIR WALL AS REQUIRED. DISCONNECT AND STORE EXISTING MIXING VALVE FOR REUSE WITH NEW FIXTURE.
- REMOVE EXISTING COUNTER MOUNTED SINK, FAUCET, DRAIN, AND ASSOCIATED TRIM. DISCONNECT ALL CW, HW, VENT, AND SANITARY STUB-OUTS / ROUGH-INS FROM SINK. EXISTING STUB-OUTS / ROUGH-INS TO REMAIN. NEW COUNTER MOUNTED SINK TO BE INSTALLED WITH NEW WORK, IN SAME APPROXIMATE LOCATION, AND RECONNECTED TO EXISTING CW, HW, VENT, AND SANITARY STUB-OUTS / ROUGH-INS. REPAIR WALL AS REQUIRED. DISCONNECT AND STORE EXISTING MIXING VALVE FOR REUSE WITH NEW FIXTURE.
- DISCONNECT EXISTING DUCTWORK AND WIRING / ELECTRICAL CONNECTIONS, AND REMOVE EXISTING CEILING EXHAUST FAN AND ASSOCIATED TRIM. EXISTING DUCTWORK AND WIRING / ELECTRICAL CONNECTIONS TO REMAIN. NEW CEILING EXHAUST FAN-LIGHT COMBINATION TO BE INSTALLED WITH NEW WORK, IN SAME APPROXIMATE LOCATION, AND RECONNECTED TO EXISTING DUCTWORK AND WIRING / ELECTRICAL CONNECTIONS. REPAIR CEILING AS REQUIRED.
- PROVIDE NEW WALL HUNG LAVATORY, CARRIER, FAUCET, DRAIN, AND ASSOCIATED TRIM. RECONNECT EXISTING CW, HW, VENT, AND SANITARY STUB-OUTS / ROUGH-INS FROM PREVIOUS FIXTURE, AND MATCH EXISTING PIPE SIZES. MODIFY AND EXTEND / TRIM EXISTING CW, HW, VENT, AND SANITARY STUB-OUTS / ROUGH-INS AS REQUIRED. RECONNECT AND REUSE EXISTING MIXING VALVE.
- PROVIDE NEW UNDERMOUNT SINK, FAUCET, DRAIN, SIDE-SPRAYER, AND ASSOCIATED TRIM. RECONNECT EXISTING CW, HW, VENT, AND SANITARY STUB-OUTS / ROUGH-INS FROM PREVIOUS FIXTURE, AND MATCH EXISTING PIPE SIZES. MODIFY AND EXTEND / TRIM EXISTING CW, HW, VENT, AND SANITARY STUB-OUTS / ROUGH-INS AS REQUIRED. RECONNECT AND REUSE EXISTING MIXING VALVE.
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- PROVIDE NEW CEILING EXHAUST FAN-LIGHT COMBINATION, ASSOCIATED TRIM, AND DUCT ADAPTER IF REQUIRED. RECONNECT EXISTING DUCTWORK AND WIRING / ELECTRICAL CONNECTIONS FROM PREVIOUS CEILING EXHAUST FAN, AND MATCH OUTLET DUCTWORK CONNECTION SIZE OF NEW EXHAUST FAN-LIGHT COMBINATION. MODIFY AND EXTEND / TRIM EXISTING DUCTWORK AND WIRING / ELECTRICAL CONNECTIONS AS REQUIRED. COORDINATE FINAL LOCATION OF EXHAUST FAN-LIGHT COMBINATION.

GENERAL SHEET NOTES

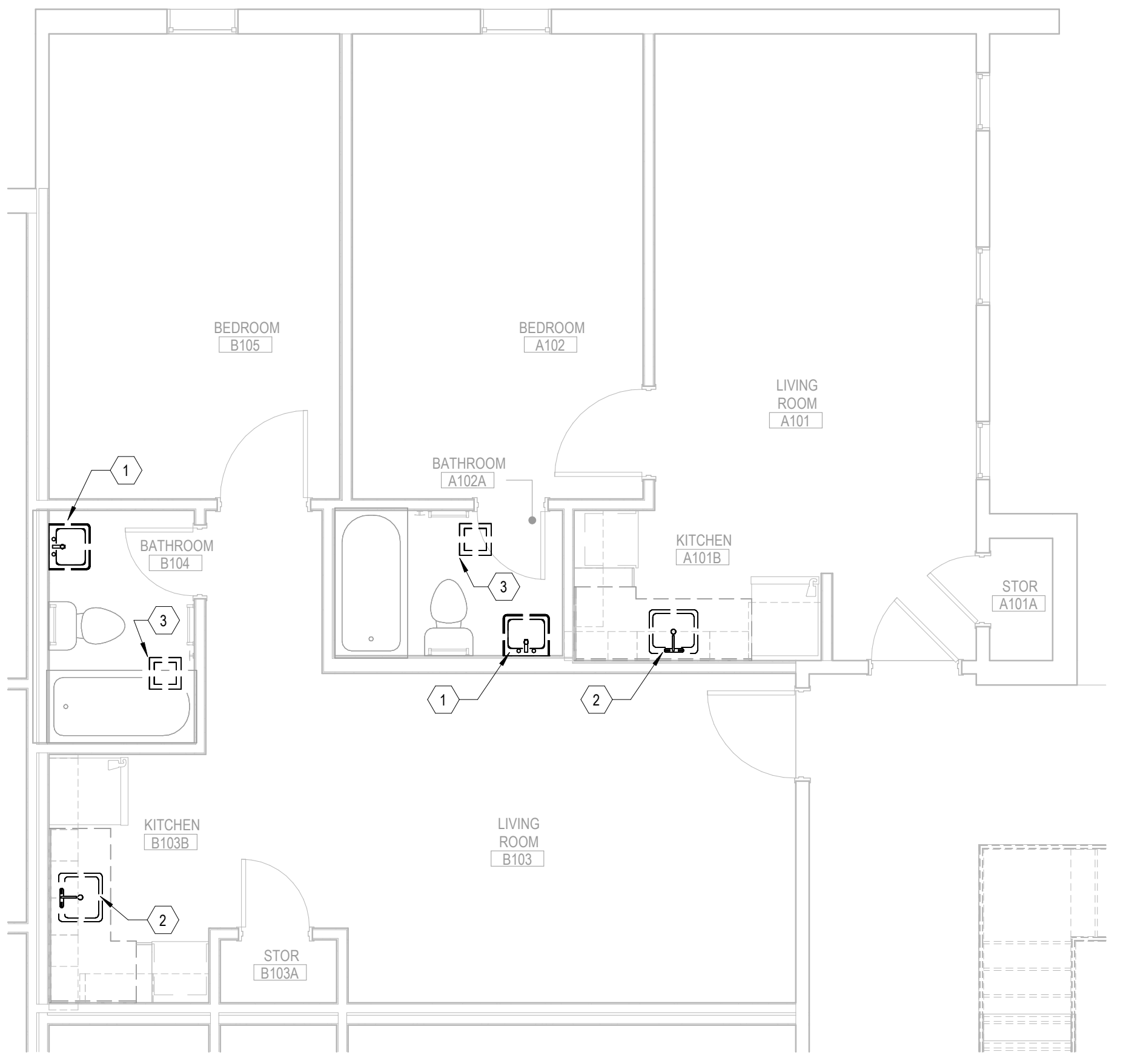
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3 MECHANICAL & PLUMBING ENLARGED FLOOR PLAN - 1BR.AB - LEVEL 01 - ADD ALT
MP111.AB 1/4" = 1'-0"

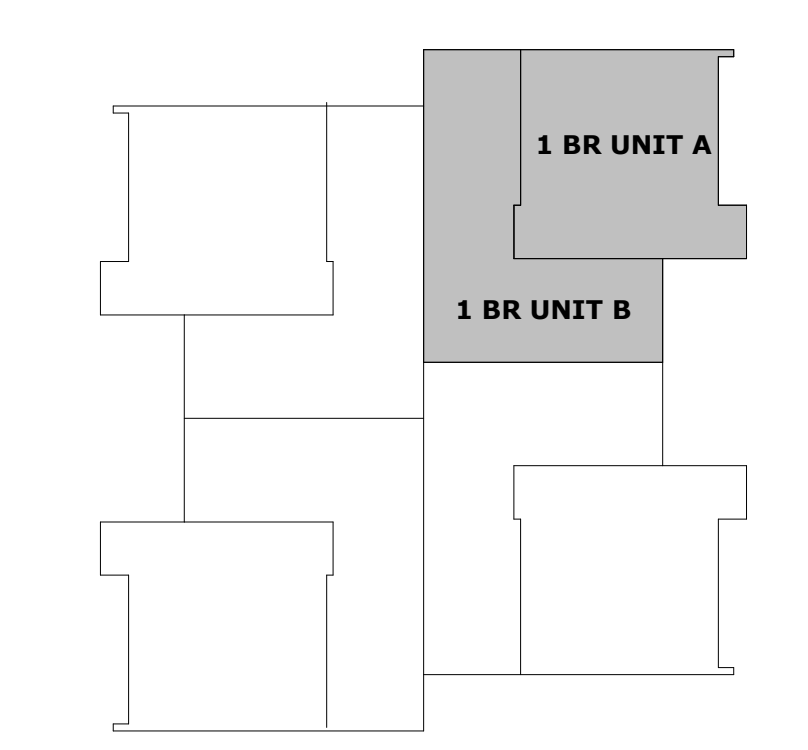


2 MECHANICAL & PLUMBING ENLARGED FLOOR PLAN - 1BR.AB - LEVEL 01
MP111.AB 1/4" = 1'-0"



1 MECHANICAL & PLUMBING DEMOLITION PLAN - 1BR.AB - LEVEL 01
MP111.AB 1/4" = 1'-0"

KEY PLAN



2/21/2025

CONSTRUCTION DOCUMENTS

ISSUE DATE: 02/14/2025

| NO. | REASON | DATE |
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| 1 | OSE Comments | 02/21/2025 |

PROJECT TEAM
PRINCIPAL IN CHARGE: DON BAUS
PROJECT MANAGER: SYDNEY KERSCHEN

DESIGN TEAM: JASON SVISTUN

VILLAGE APARTMENTS INTERIOR RENOVATION, FMU
4822 E. PALMETTO ST., FLORENCE, SC 29506
OSE PROJECT NUMBER - H18-N095-SG

414.21976.00

SHEET TITLE: MECHANICAL & PLUMBING ENLARGED FLOOR PLANS - 1BR.AB - LEVEL 01

SHEET NUMBER: MP111.AB

KEY NOTES

1. REMOVE EXISTING COUNTER MOUNTED SINK/LAVATORY, FAUCET, DRAIN, AND ASSOCIATED TRIM. DISCONNECT ALL CW, HW, VENT, AND SANITARY STUB-OUTS / ROUGH-INS FROM SINK. EXISTING STUB-OUTS / ROUGH-INS TO REMAIN. NEW COUNTER MOUNTED SINK TO BE INSTALLED WITH NEW WORK, IN SAME APPROXIMATE LOCATION, AND RECONNECTED TO EXISTING CW, HW, VENT, AND SANITARY STUB-OUTS / ROUGH-INS. REPAIR WALL AS REQUIRED. DISCONNECT AND STORE EXISTING MIXING VALVE FOR REUSE WITH NEW FIXTURE.
2. DISCONNECT EXISTING DUCTWORK AND WIRING / ELECTRICAL CONNECTIONS, AND REMOVE EXISTING CEILING EXHAUST FAN AND ASSOCIATED TRIM. EXISTING DUCTWORK AND WIRING / ELECTRICAL CONNECTIONS TO REMAIN. NEW CEILING EXHAUST FAN-LIGHT COMBINATION TO BE INSTALLED WITH NEW WORK, IN SAME APPROXIMATE LOCATION, AND RECONNECTED TO EXISTING DUCTWORK AND WIRING / ELECTRICAL CONNECTIONS. REPAIR CEILING AS REQUIRED.
3. PROVIDE NEW UNDERMOUNT SINK, FAUCET, DRAIN, SIDE-SPRAYER, AND ASSOCIATED TRIM. RECONNECT EXISTING CW, HW, VENT, AND SANITARY STUB-OUTS / ROUGH-INS FROM PREVIOUS FIXTURE, AND MATCH EXISTING PIPE SIZES. MODIFY AND EXTEND / TRIM EXISTING CW, HW, VENT, AND SANITARY STUB-OUTS / ROUGH-INS AS REQUIRED. RECONNECT AND REUSE EXISTING MIXING VALVE.
4. PROVIDE NEW UNDERMOUNT LAVATORY, FAUCET, DRAIN, AND ASSOCIATED TRIM. RECONNECT EXISTING CW, HW, VENT, AND SANITARY STUB-OUTS / ROUGH-INS FROM PREVIOUS FIXTURE, AND MATCH EXISTING PIPE SIZES. MODIFY AND EXTEND / TRIM EXISTING CW, HW, VENT, AND SANITARY STUB-OUTS / ROUGH-INS AS REQUIRED. RECONNECT AND REUSE EXISTING MIXING VALVE.
5. PROVIDE NEW CEILING EXHAUST FAN-LIGHT COMBINATION, ASSOCIATED TRIM, AND DUCT ADAPTER IF REQUIRED. RECONNECT EXISTING DUCTWORK AND WIRING / ELECTRICAL CONNECTIONS FROM PREVIOUS CEILING EXHAUST FAN, AND MATCH OUTLET DUCTWORK CONNECTION SIZE OF NEW EXHAUST FAN-LIGHT COMBINATION. MODIFY AND EXTEND / TRIM EXISTING DUCTWORK AND WIRING / ELECTRICAL CONNECTIONS AS REQUIRED. COORDINATE FINAL LOCATION OF EXHAUST FAN-LIGHT COMBINATION.

GENERAL SHEET NOTES

- A. SEE SHEET MP001 FOR LEGEND AND GENERAL NOTES.
- B. ALL SYMBOLS ON SHEET MP001 ARE NOT NECESSARILY USED ON THIS PROJECT.
- C. PIPE RUNOUTS TO FIXTURES ARE AS SCHEDULED UNLESS NOTED OTHERWISE.
- D. INCLUDE ALL CUTTING/PATCHING OF EXISTING SLAB. OBTAIN WRITTEN APPROVAL FROM THE LANDLORD/OWNER PRIOR TO CUTTING/PATCHING.
- E. DRAWINGS WERE PREPARED BASED ON NON-DESTRUCTIVE FIELD WORK. EXISTING PIPING SHOWN ON PLANS IS SCHEMATIC AND MAY NOT NECESSARILY REPRESENT EXACT LOCATIONS. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING TO VERIFY EXISTING UTILITIES. NO ADDITIONAL COST ARE TO BE BORNE BY THE OWNER AS A RESULT OF UTILITY CONFIGURATION DISCREPANCIES THAT WOULD BE REASONABLY DETECTED AS A RESULT OF THIS PRE BID SITE VISIT.
- F. TYPICAL UNIT LAYOUT SHOWN. CONTRACTOR TO FIELD VERIFY CONDITIONS IN EACH UNIT AND NOTIFY ARCHITECTURAL TEAM IF SIGNIFICANT VARIATIONS EXIST, BEFORE PROCEEDING WITH WORK. EXACT DEVICE AND FIXTURE LOCATIONS MAY VARY. COORDINATE WITH EXISTING CONDITIONS ON A UNIT BY UNIT BASIS.



CONSTRUCTION DOCUMENTS

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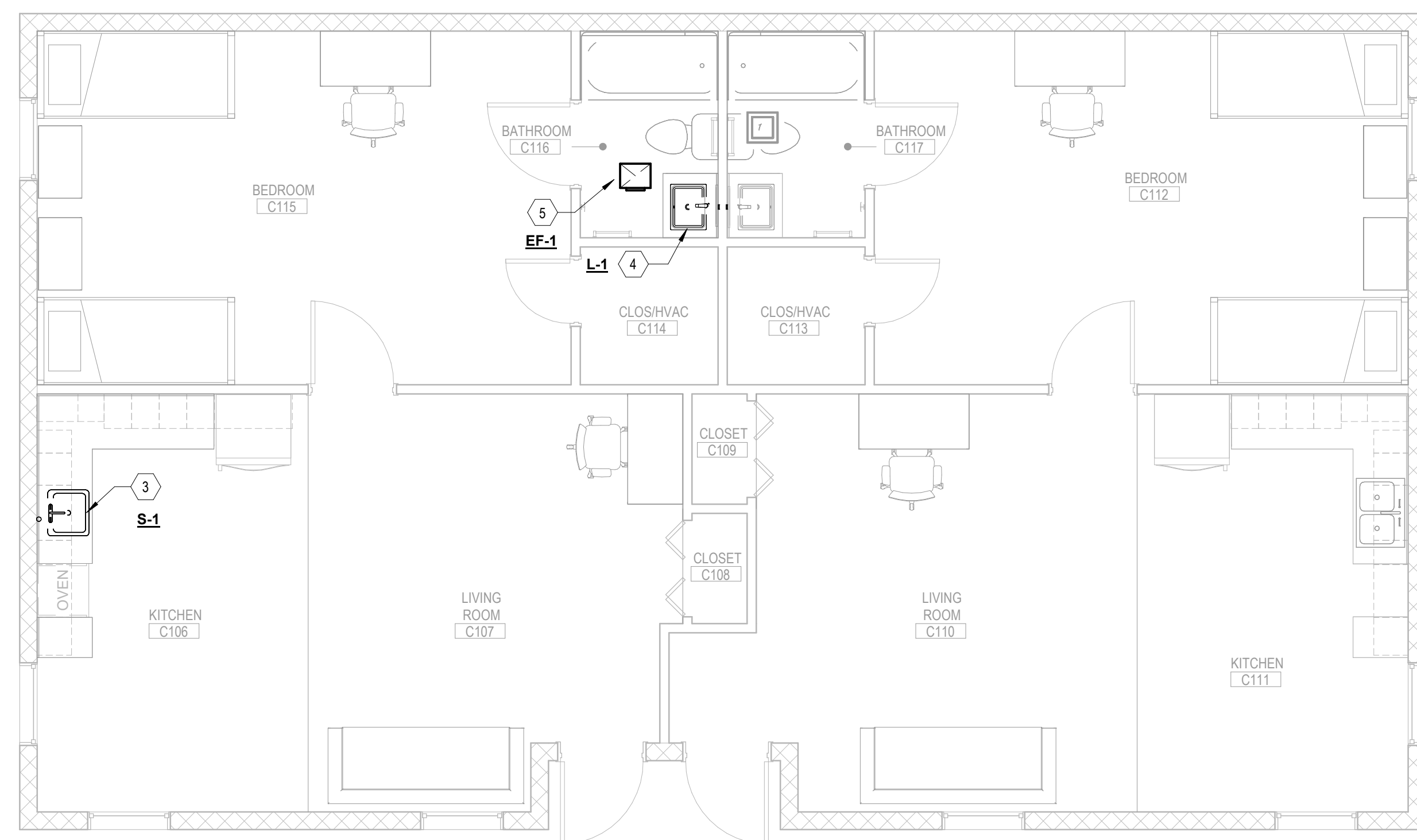
PROJECT TEAM
PRINCIPAL IN CHARGE: DON BAUS
PROJECT MANAGER: SYDNEY KERSCHEN

DESIGN TEAM: JASON SVISTUN
PROJECT NAME: VILLAGE APARTMENTS INTERIOR RENOVATION, FMU
4822 E. PALMETTO ST., FLORENCE, SC 29506
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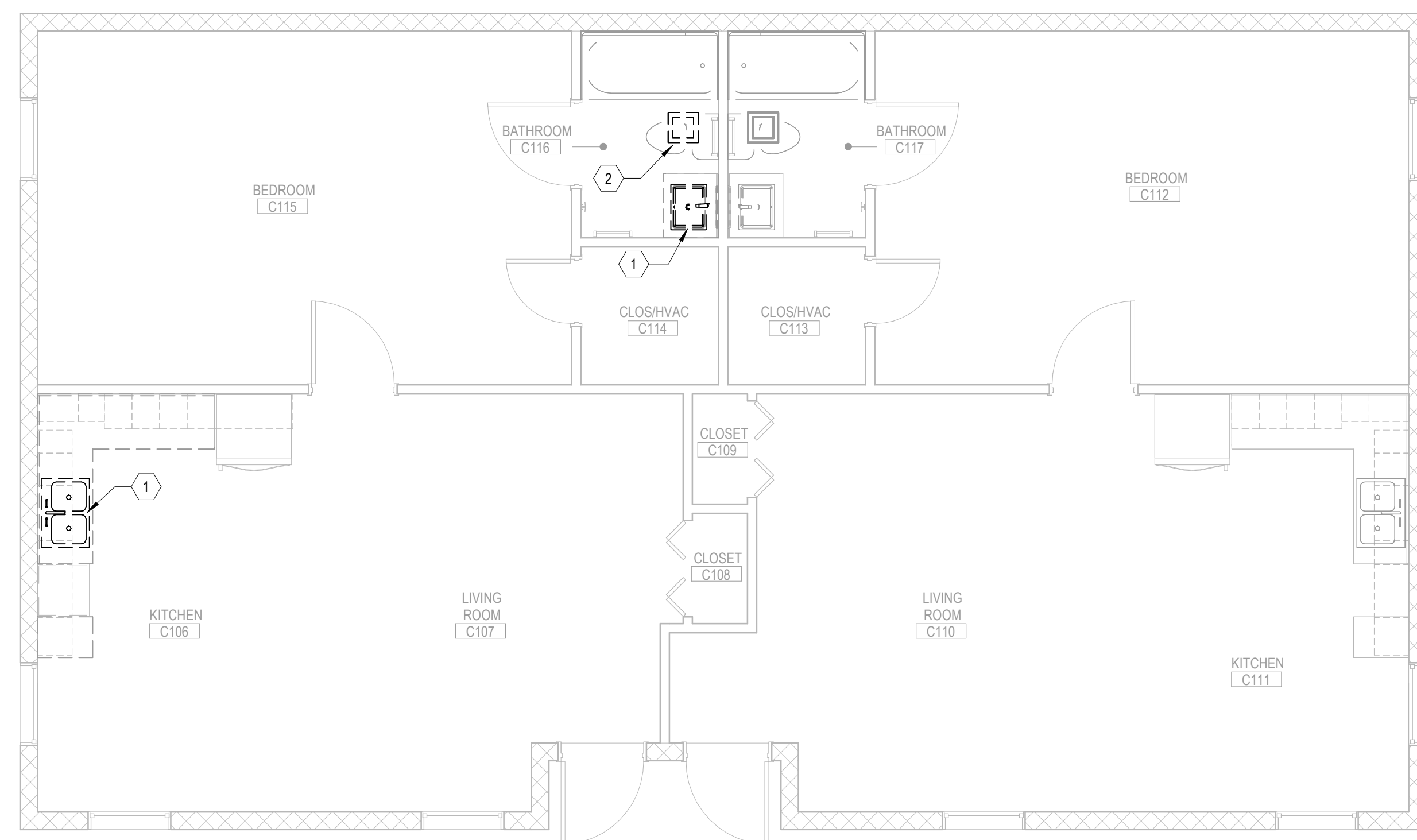
SHEET NUMBER: 414.21976.00

SHEET TITLE: MECHANICAL & PLUMBING ENLARGED FLOOR PLANS - 1BR.C - LEVEL 01

MP111.C



2 MECHANICAL & PLUMBING ENLARGED FLOOR PLAN - 1BR.C - LEVEL 01
MP111.C 1/4" = 1'-0"



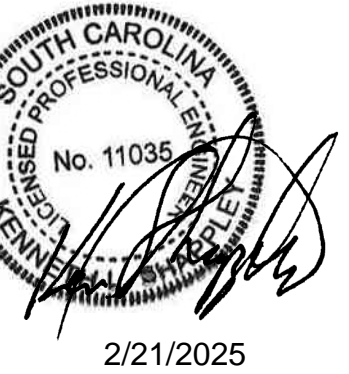
1 MECHANICAL & PLUMBING DEMOLITION PLAN - 1BR.C - LEVEL 01
MP111.C 1/4" = 1'-0"

(X) KEY NOTES

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GENERAL SHEET NOTES

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- B. ALL SYMBOLS ON SHEET MP001 ARE NOT NECESSARILY USED ON THIS PROJECT.
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- E. DRAWINGS WERE PREPARED BASED ON NON-DESTRUCTIVE FIELD WORK. EXISTING PIPING SHOWN ON PLANS IS SCHEMATIC AND MAY NOT NECESSARILY REPRESENT EXACT LOCATIONS. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING TO VERIFY EXISTING UTILITIES. NO ADDITIONAL COST ARE TO BE BORNE BY THE OWNER AS A RESULT OF UTILITY CONFIGURATION DISCREPANCIES THAT WOULD BE REASONABLY DETECTED AS A RESULT OF THIS PRE BID SITE VISIT.
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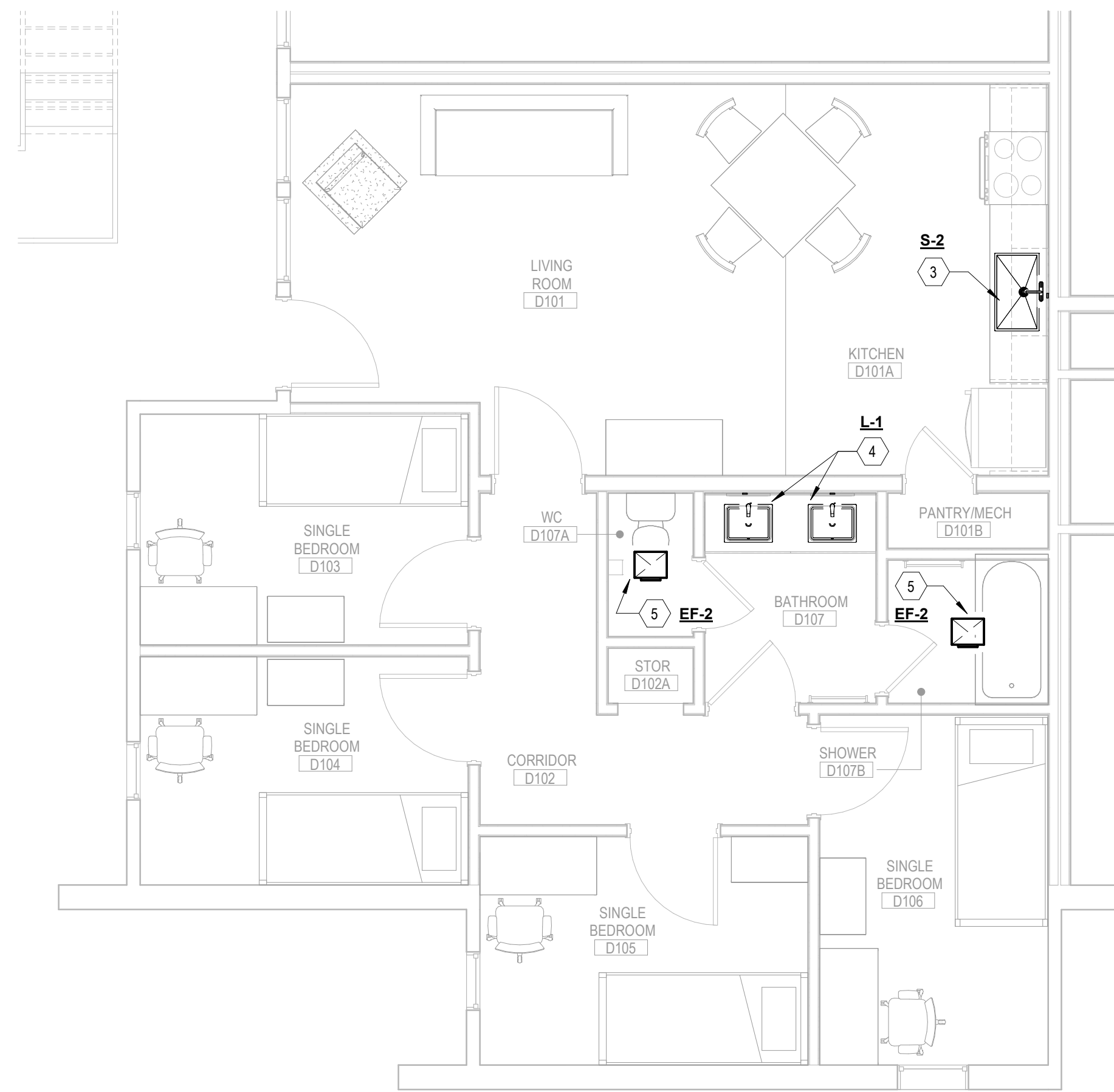
PROJECT TEAM
PRINCIPAL IN CHARGE: DON BAUS
PROJECT MANAGER: SYDNEY KERSCHEN

DESIGN TEAM
JASON SVISTUN
PROJECT MANAGER
VILLAGE APARTMENTS INTERIOR RENOVATION, FMU
4822 E. PALMETTO ST., FLORENCE, SC 29506
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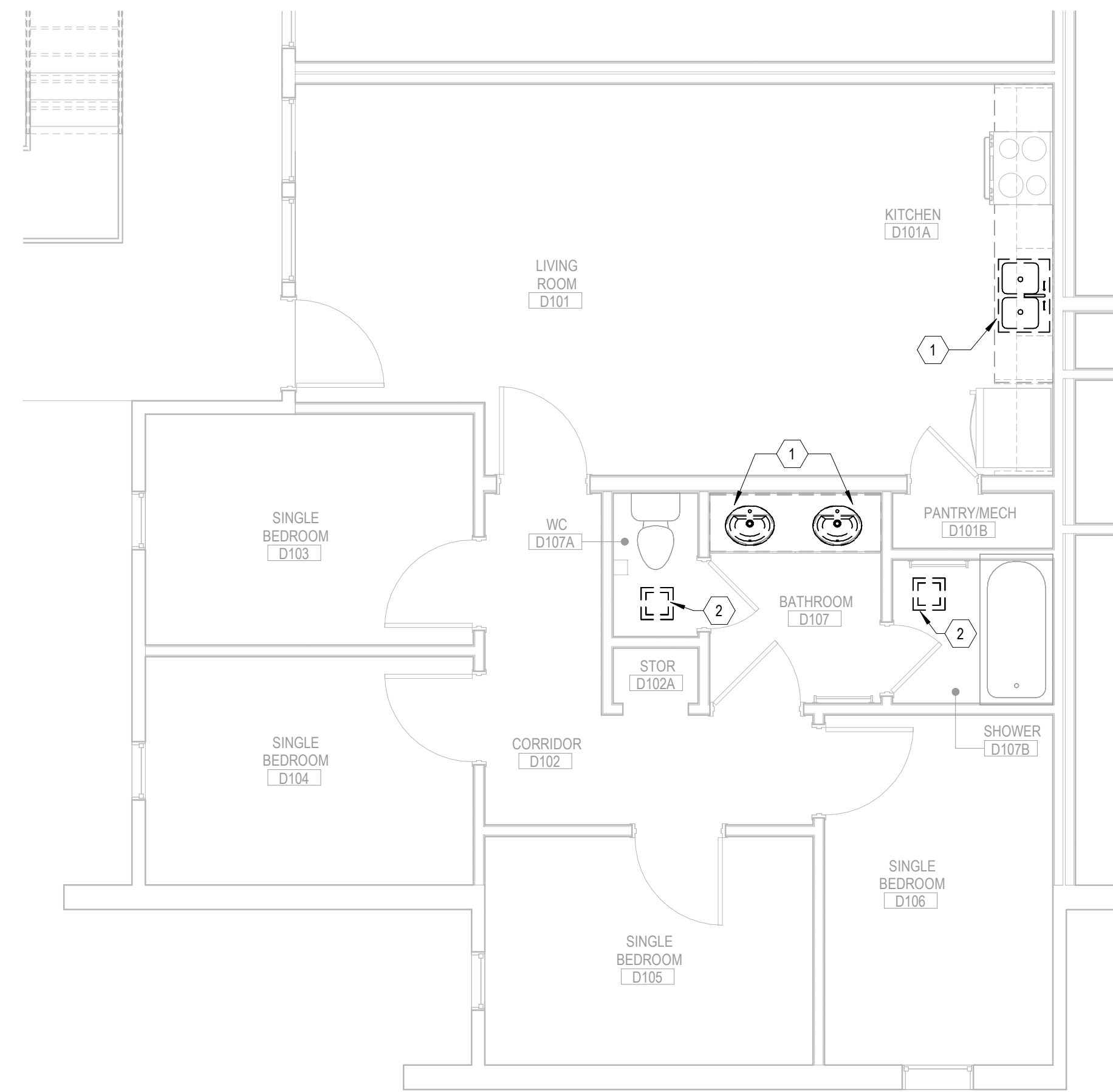
414.21976.00

SHEET TITLE
MECHANICAL & PLUMBING ENLARGED FLOOR PLANS - 4BR.D - LEVEL 01

SHEET NUMBER
MP111.D

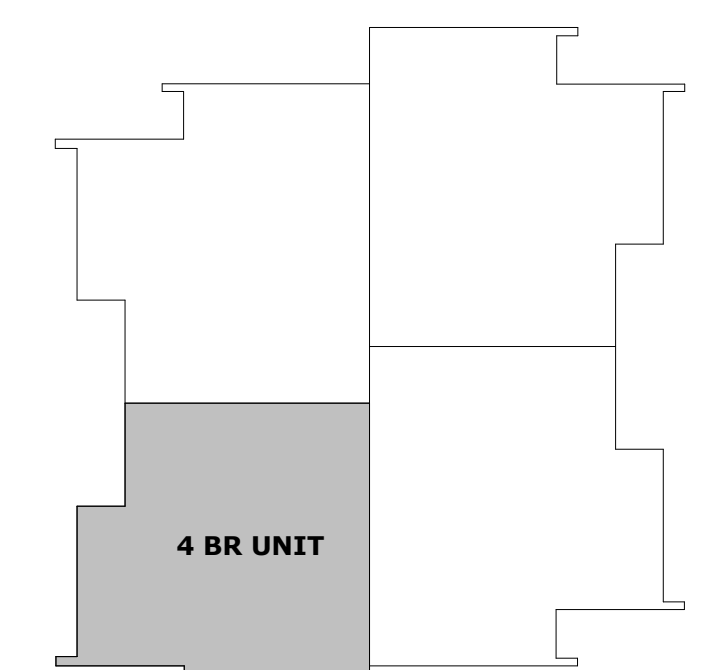


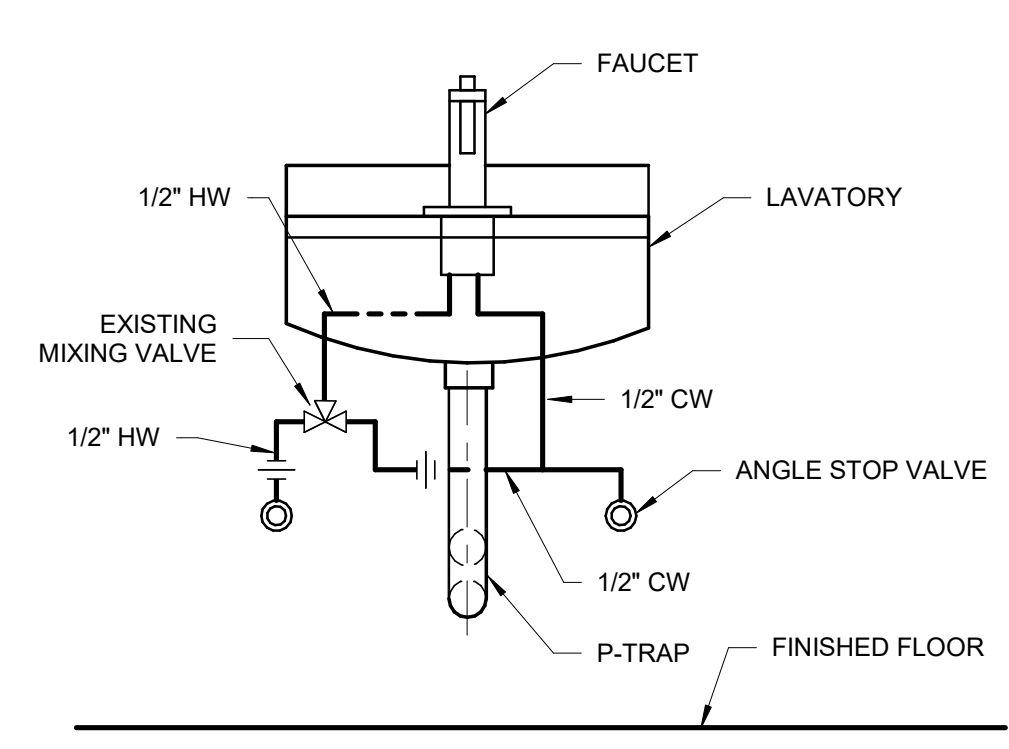
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MP111.D 1/4" = 1'-0"



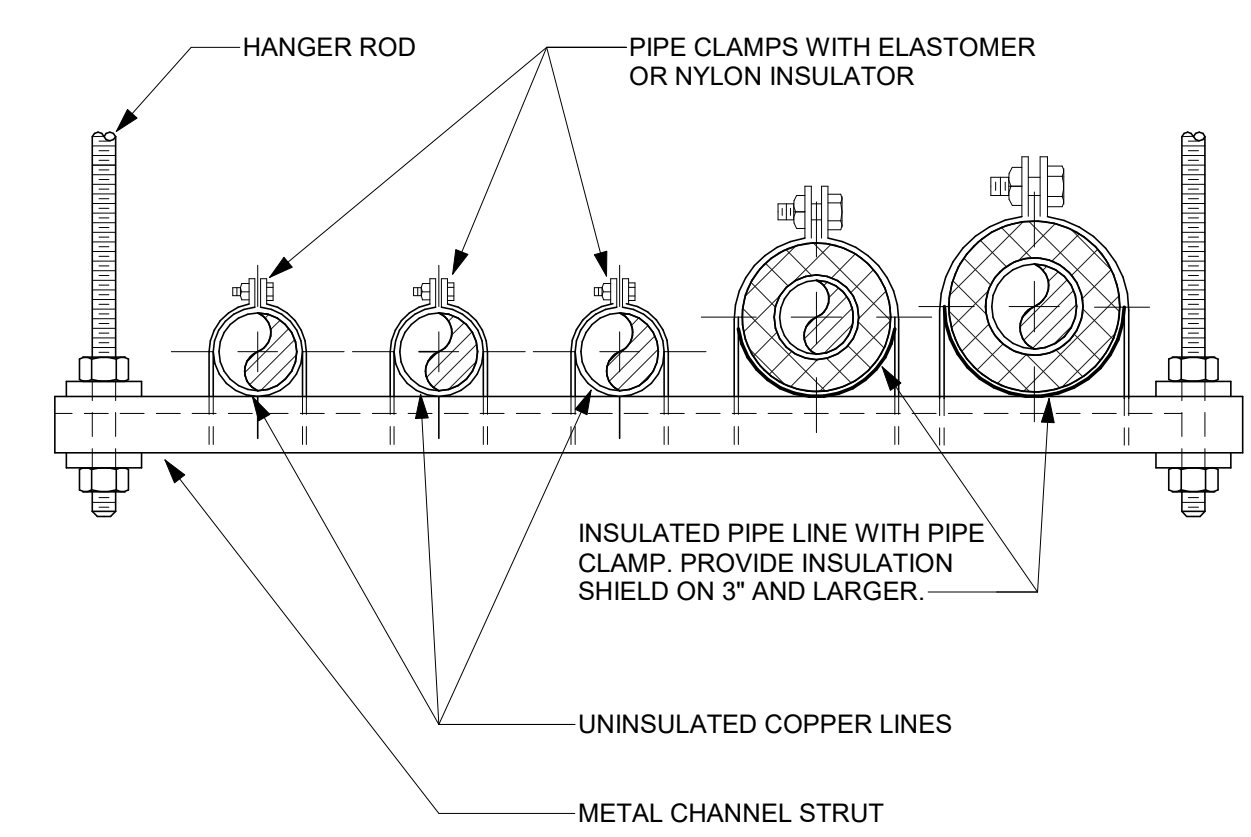
1 MECHANICAL & PLUMBING DEMOLITION PLAN - 4BR.D - LEVEL 01
MP111.D 1/4" = 1'-0"

KEY PLAN

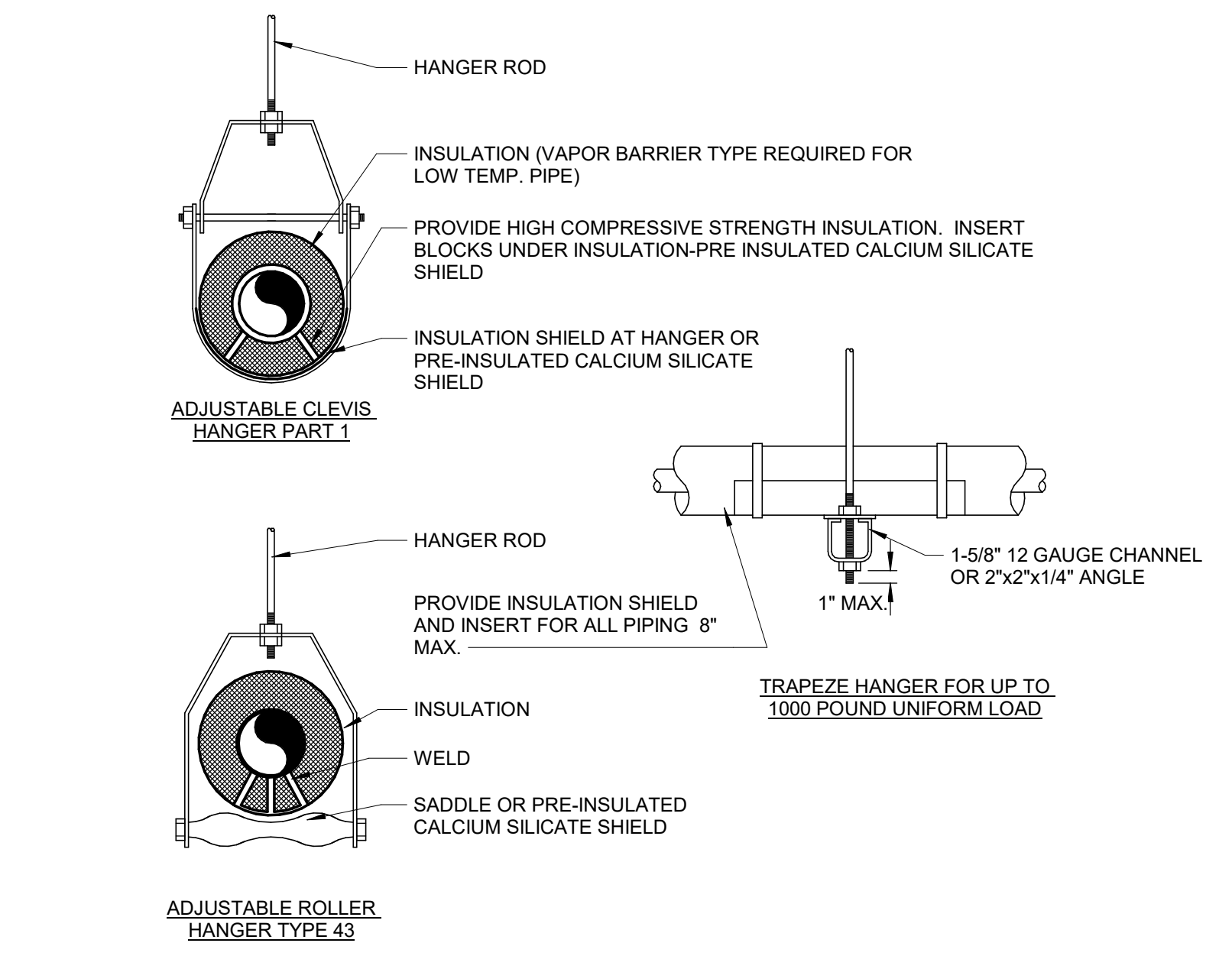




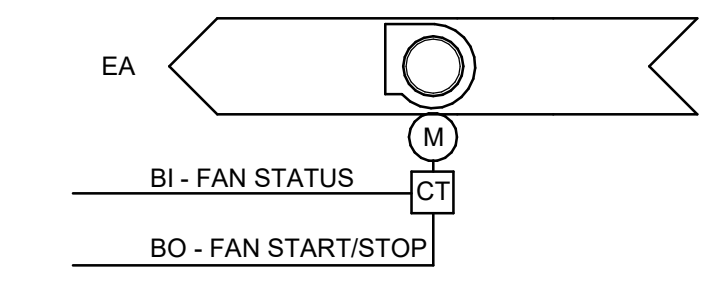
6 MIXING VALVE LAVATORY/SINK
MP501 NOT TO SCALE



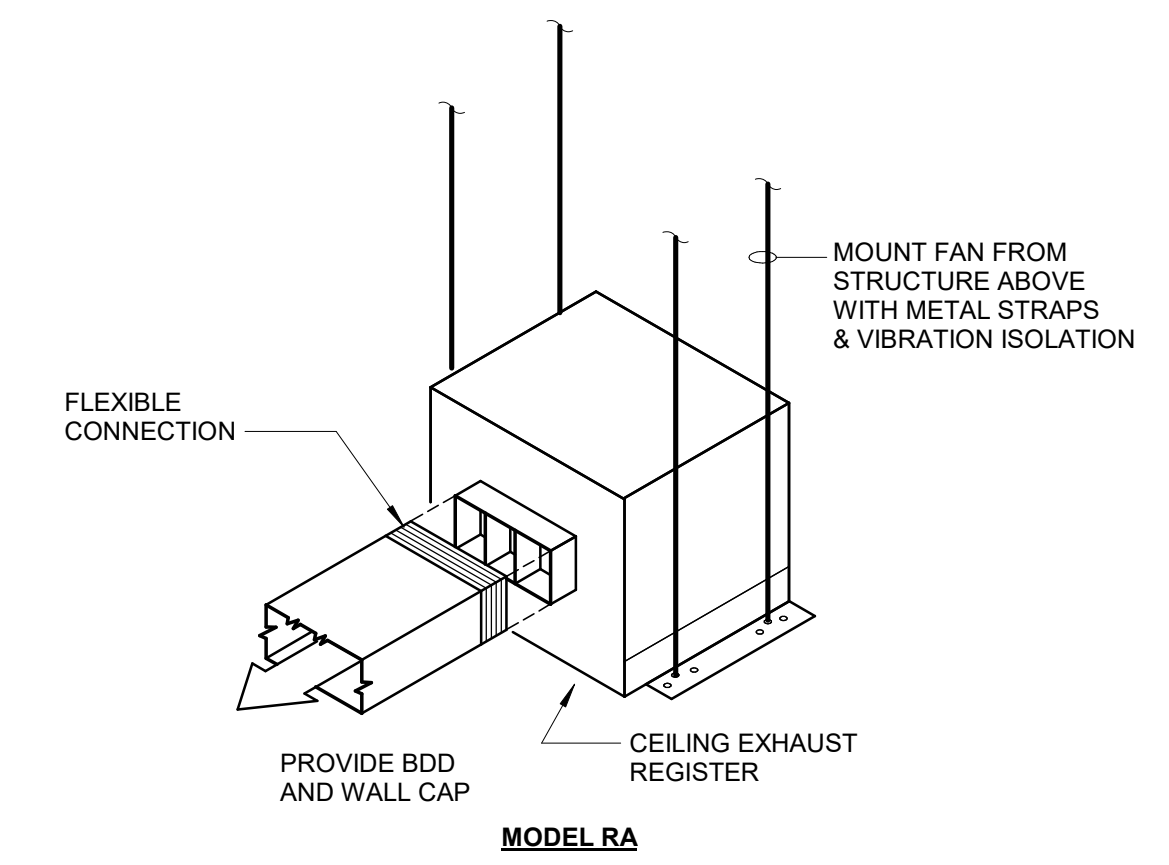
5 TRAPEZE PIPE HANGER DETAIL
MP501 NOT TO SCALE



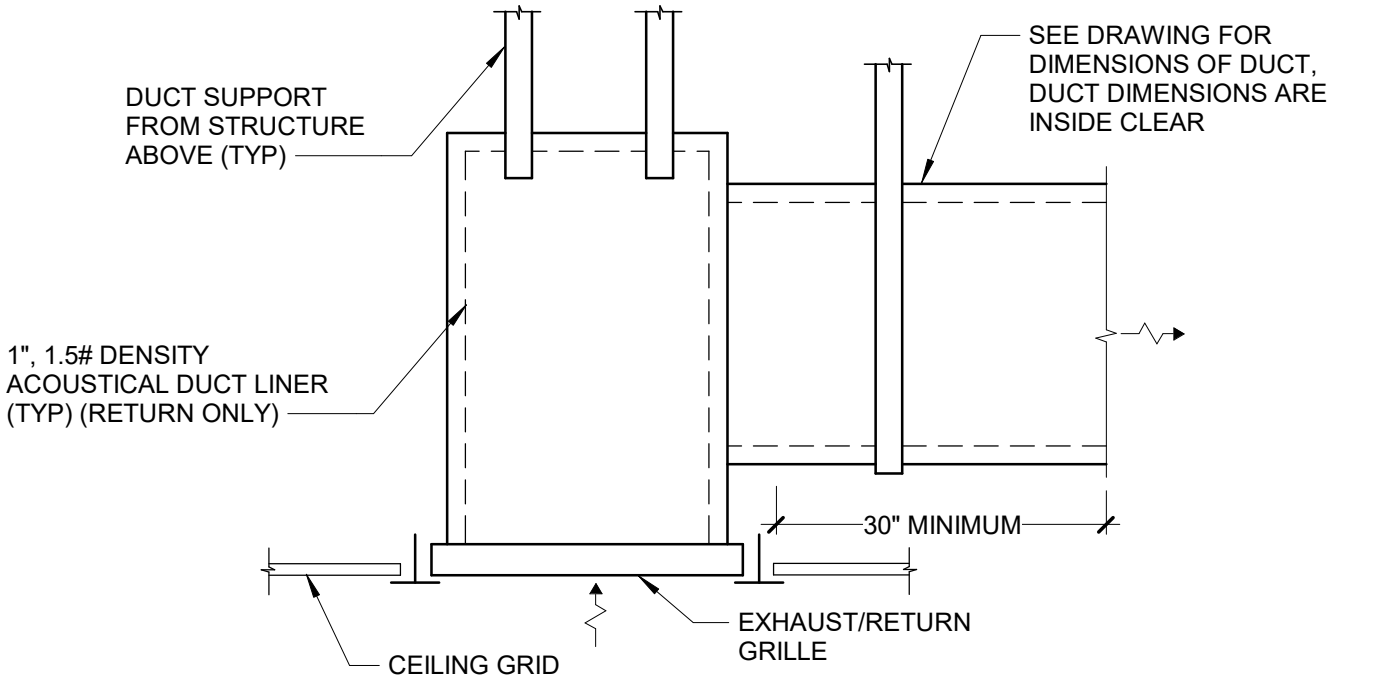
4 PIPE HANGER DETAILS
MP501 NOT TO SCALE



3 ON/OFF EXHAUST FAN SCHEMATIC
MP501 NOT TO SCALE



2 CEILING EXHAUST FAN DETAIL
MP501 NOT TO SCALE



1 EXHAUST/RETURN GRILLE DETAIL
MP501 NOT TO SCALE

| MAXIMUM PIPE/TUBING SUPPORT SPACING, FEET | | | | | | | | | | | | | | | | | | |
|---|----------|---|-------|-------|----|-------|----|----|----|----|----|----|----|----|----|----|----|----|
| NOM. SIZE | THRU 3/4 | 1 | 1 1/4 | 1 1/2 | 2 | 2 1/2 | 3 | 4 | 5 | 6 | 8 | 10 | 12 | 14 | 16 | 18 | 20 | 22 |
| PIPE | 7 FT | 7 | 7 | 9 | 10 | 11 | 12 | 14 | 16 | 17 | 19 | 22 | 23 | 25 | 27 | 28 | 30 | 32 |
| TUBING | 5 FT | 6 | 7 | 8 | 8 | 9 | 10 | 12 | 13 | 14 | 16 | - | - | - | - | - | - | - |

NOTE: FOR TRAPEZE HANGER - TAKE SPACING OF SMALLEST SIZE ON TRAPEZE.



2/21/2025

CONSTRUCTION DOCUMENTS

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PROJECT TEAM
PRINCIPAL IN CHARGE: DON BAUS
PROJECT MANAGER: SYDNEY KERSCHEN

DESIGN TEAM
JASON SVISTUN
PROJECT ENGINEER

VILLAGE APARTMENTS INTERIOR RENOVATION, FMU

4822 E. PALMETTO ST., FLORENCE, SC 29506
OSE PROJECT NUMBER - H18-N095-SG

414.21976.00

MECHANICAL & PLUMBING DETAILS

SHEET NUMBER

MP501

F
E
D
C
B
A

GENERAL NOTES

- ALL WORK SHALL BE ACCORDING TO THE LATEST APPLICABLE AND ENFORCED EDITIONS OF THE FOLLOWING CODES AND STANDARDS: THE NATIONAL ELECTRICAL CODE (NFPA 70), THE NATIONAL FIRE ALARM CODE (NFPA 72), THE NATIONAL LIFE SAFETY CODE (NFPA 101), THE AMERICANS WITH DISABILITIES ACT (ADA), ALL OTHER APPLICABLE LOCAL, STATE, AND NATIONAL CODES, AND ALL AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL OBTAIN ALL PERMITS AND PAY SUCH FEES AS MAY BE NECESSARY FOR INSPECTIONS, TESTS, AND OTHER SERVICES NEEDED FOR THE COMPLETION OF WORK.
- IT IS THE INTENT OF THESE DRAWINGS AND OTHER RELATED DOCUMENTS TO PRODUCE A COMPLETE AND FUNCTIONING ELECTRICAL SYSTEM. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND OTHER SERVICES AS MAY BE NECESSARY TO ACHIEVE THIS PRODUCT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ENGINEER ANY DISCREPANCIES IN THE PLANS AND SPECIFICATIONS THAT WILL AFFECT THE WORK, PRIOR TO SUBMISSION OF THE PRICE.
- ALL MATERIAL SHALL BE NEW AND BEAR THE UL LABEL OR OTHER APPROVED THIRD PARTY TESTING LAB INDICATING THE LISTING FOR ITS INSTALLED APPLICATION.
- CONTRACTOR SHALL UTILIZE ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATIONS OF LIGHTING FIXTURES AND ALL OTHER LIGHTING/ELECTRICAL/SPECIAL SYSTEMS CEILING DEVICES.
- CONTRACTOR SHALL UTILIZE MECHANICAL/PLUMBING PLANS FOR EXACT LOCATIONS OF ALL MECHANICAL/PLUMBING EQUIPMENT.
- ELECTRICAL DRAWINGS ARE DIAGRAMMATIC. DO NOT SCALE DRAWINGS EXCEPT WHERE DIMENSIONS ARE SHOWN.
- CONTRACTOR TO CONSULT PLANS OF ALL OTHER TRADES FOR COORDINATION AND FOR RELATED AND ADJOINING WORK.
- CONTRACTOR TO CONSULT ARCHITECTURAL AND STRUCTURAL PLANS AND DETAILS FOR CONSTRUCTION TYPE, HEADROOM, CEILINGS, FINISHES, ETC. CONTRACTOR TO COORDINATE ALL CONDUITS AND ELECTRICAL DEVICES/BOXES WITH ARCHITECT AS RELATED TO WALL CONSTRUCTION TYPE PRIOR TO INSTALLATION.
- ALL CONDUCTORS IN ELECTRICAL SYSTEM SHALL BE NO. 12 AWG COPPER MINIMUM UNLESS SPECIFICALLY LABELED OTHERWISE OR AS REQUIRED BY SPECIFICATIONS OR CODE. THE CORRECT NUMBER OF WIRES MAY NOT BE INDICATED FOR ALL CIRCUITS, ONLY THOSE WHERE CLARIFICATION IS NECESSARY. THE CONTRACTOR SHALL PROVIDE ALL WIRES NECESSARY FOR THE PROPER FUNCTION OF THE SYSTEM.
- ALL EMPTY CONDUIT RUNS IN EXCESS OF 10 FEET SHALL BE PROVIDED WITH A PULL STRING OR FISH TAPE.
- RACEWAYS SHALL BE CONCEALED IN FINISHED SPACES AND AS PER SPECS. WHERE APPLICABLE, EXPOSED CONDUITS MOUNTED TO STRUCTURE SHALL BE RUN AS INCONSPICUOUSLY AS POSSIBLE, AND SHALL BE PAINTED TO MATCH SURFACE TO WHICH THEY ARE MOUNTED. CONDUITS SHALL RUN PARALLEL TO BUILDING LINES. ALL EXPOSED JUNCTION BOXES SHALL BE WEATHERPROOF, WITH NO KNOCKOUT.
- ALL DEVICES INDICATED AS REQUIRING AN ISOLATED GROUND CONNECTION SHALL BE SERVED VIA A BRANCH CIRCUIT CONTAINING AN INSULATED ISOLATED GROUND CONDUCTOR IN ADDITION TO AN INSULATED EQUIPMENT GROUNDING CONDUCTOR. THE ISOLATED GROUND CONDUCTOR SHALL BE CONNECTED TO THE ISOLATED GROUND BUS IN THE PANELBOARD SERVING THE DEVICE.
- PROVIDE "LOCKING" TYPE DEVICES ON ALL CIRCUIT BREAKERS THAT WILL SERVE EMERGENCY LIGHTING, EXIT SIGNS, FIRE ALARM SYSTEMS, EMERGENCY COMMUNICATIONS SYSTEM, AND SECURITY SYSTEMS.
- PROVIDE COMPLIANCE WITH ANSI A117.1 FOR ADA REQUIREMENTS.
- CONTRACTOR SHALL INCREASE WIRE SIZE AS REQUIRED TO MAINTAIN A 5-PERCENT WORST CASE VOLTAGE DROP, FROM SERVICE ENTRANCE TO FURTHEST DEVICE.
- EACH INDIVIDUAL BRANCH CIRCUIT SHALL HAVE A DEDICATED NEUTRAL UNLESS INDICATED OTHERWISE. WHEN MULTI-WIRE BRANCH CIRCUITS ARE SPECIFIED TO BE INSTALLED, PROVIDE MULTI-POLE CIRCUIT BREAKERS AS REQUIRED BY NEC 210.4. PROVIDE A #10 NEUTRAL CONDUCTOR FOR ALL MULTI-WIRE RECEPTACLE BRANCH CIRCUITS.
- POWER RATINGS INDICATED ON DRAWINGS MAY DIFFER FROM THE ACTUAL EQUIPMENT FURNISHED. IF FURNISHED EQUIPMENT DIFFERS FROM RATINGS ON THE DRAWINGS, CONTRACTOR SHALL NOTIFY ENGINEER FOR APPROPRIATE ACTION TO BE TAKEN.
- HORSEPOWER RATINGS INDICATED ON DRAWINGS MAY DIFFER FROM THE ACTUAL EQUIPMENT FURNISHED. IF FURNISHED EQUIPMENT DIFFERS FROM RATINGS ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY ENGINEER FOR APPROPRIATE ACTION TO BE TAKEN.
- PROVIDE AND SIZE ALL MOTOR OVERLOAD DEVICES IN STARTERS, BASED ON ACTUAL NAMEPLATE RATINGS ON THE MOTORS BEING INSTALLED.
- CONTRACTOR SHALL NOTE UL LABELS ON PACKAGE-TYPE MECHANICAL EQUIPMENT. IF UL LABEL ON MECHANICAL EQUIPMENT CALLS FOR THE OVERCURRENT PROTECTIVE DEVICE TO BE FUSES, THE CONTRACTOR SHALL PROVIDE A FUSED DISCONNECT SWITCH WITH PROPERLY SIZED FUSES AT THE SWITCH LOCATION INDICATED ON THE DRAWINGS.
- CONTRACTOR SHALL VERIFY WIRE SIZES, FUSE RATINGS, AND CIRCUIT BREAKER RATINGS FOR ALL HVAC EQUIPMENT, AND SHALL BRING TO THE ATTENTION OF THE ENGINEER ANY DISCREPANCIES AFFECTING THE WORK, PRIOR TO PROCEEDING.
- ALL ELECTRIC DRINKING FOUNTAINS SHALL BE PROTECTED WITH GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION. PROVIDE GFCI TYPE CIRCUIT BREAKERS FEEDING ELECTRIC DRINKING FOUNTAINS (EWC).
- ALL EXTERIOR RECEPTACLES SHALL BE LISTED WEATHER-RESISTANT TYPE, BE GFI PROTECTED AND HAVE AN ENCLOSURE/COVERPLATE THAT IS WEATHERPROOF (WITH THE ATTACHMENT PLUG CAP INSERTED OR REMOVED), OUTLET BOX HOOD, IF INSTALLED SHALL BE EXTRA DUTY RATED, REFER TO SPECIFICATIONS.
- ALL DEVICES (INCLUDING LIGHT SWITCH BOXES, ELECTRICAL OUTLET BOXES, AND FIRE ALARM PULL STATIONS) SHALL NOT BE RECESSED INTO THE OUTER MEMBRANE OF EXIT STAIR ENCLOSURES. LOCATE THESE DEVICES AS REQUIRED. THERE SHALL BE NO PENETRATIONS INTO AND OPENINGS THROUGH AN EXIT ENCLOSURE ASSEMBLY PER NFPA 101: 7.1.3.2 (10).
- ALL SINGLE-PHASE RECEPTACLES RATED 150 VOLTS TO GROUND OR LESS, 50 AMPERES OR LESS AND THREE-PHASE RECEPTACLES RATED 150 VOLTS TO GROUND OR LESS, 100 AMPERES OR LESS INSTALLED IN THE FOLLOWING LOCATIONS SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONNEL: BATHROOMS, KITCHENS, ROOFTOPS, SINKS (INSTALLED WITHIN 6FT FROM THE TOP INSIDE EDGE OF BOWL OF THE SINK), INDOOR WET LOCATIONS, LAUNDRY ROOM AREAS, CRAWL SPACES, WITHIN 6' OF EDGE OF BATHTUB/SHOWER STALLS, AND WITHIN AREAS WHERE EQUIPMENT REQUIRES SERVICING (ELECTRICAL ROOMS, MECHANICAL ROOMS, ETC.).
- GENERAL GUIDELINES FOR 20-AMP, SINGLE PHASE 120 AND 277 VOLT BRANCH CIRCUITS USE FOLLOWING AS A MINIMUM FOR CONDUCTORS SIZES: (1) 120 VOLT - #12 AWG UP TO A DISTANCE OF 75 FEET, #10 FOR DISTANCES OVER 75 FEET AND LESS THAN 150' #8 FOR DISTANCES GREATER (2) 277 VOLT - #12 AWG UP TO A DISTANCE OF 150 FEET, #10 FOR DISTANCES OVER 150 FEET AND LESS THAN 250' #8 FOR DISTANCES GREATER. THIS DOES NOT PRECLUDE ADJUSTMENTS FOR CIRCUIT CONDITIONS WHICH MAY REQUIRE LARGER CONDUCTORS OR ALLOW MINIMUM SIZE CONDUCTORS DUE TO ACTUAL LOAD CONDITIONS THAT MEET THE REQUIREMENTS OF NOTE 16 ABOVE.

GENERAL NOTES (RENOVATION)

- CONTRACTOR SHALL VISIT THE SITE AND EXAMINE CONDITIONS OF THE PREMISES AND THE CHARACTER AND EXTENT OF WORK REQUIRED, PRIOR TO SUBMITTING PRICING. ANY DIFFICULTIES IN COMPLYING WITH THE DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER, BEFORE BEGINNING WORK.
- ALL WORK SHALL BE DONE AT SUCH TIMES AND IN SUCH A MANNER AS WILL LEAST INTERFERE WITH THE MAINTENANCE AND OPERATION OF ALL RELATED OR AFFECTED SYSTEMS. ALL POWER OUTAGES SHALL BE COORDINATED WITH OWNER.
- EXISTING BOXES, CONDUIT, AND WIRING SHALL BE REUSED IF IN GOOD CONDITION AND MEET THE REQUIREMENTS OF THE NEW WORK DEFINED IN CONTRACT DOCUMENTS. SUPPLEMENT WERE NEEDED, DO NOT REUSED IF EXISTING CIRCUITRY IS A MULTIWIRE BRANCH CIRCUIT OR DOES NOT INCLUDE AN EQUIPMENT GROUND CONDUCTOR.
- WHERE EXISTING CIRCUITS ARE EXTENDED TO SERVE NEW OR RELOCATED DEVICES OR FIXTURES, PROVIDE TYPE AND SIZE OF CONDUCTORS TO MATCH EXISTING.
- EXISTING CIRCUITING SHALL BE FIELD VERIFIED AND ADJUSTMENTS SHALL BE MADE, IF NECESSARY, TO THE CIRCUITING SHOWN ON THE PLANS AS REQUIRED BY FIELD CONDITIONS.
- WHERE ELECTRICAL WORK PENETRATES EXISTING FIRE-RATED BARRIERS (WALLS, FLOORS, AND CEILINGS), SEAL OPENING AROUND ELECTRICAL WORK WITH U.L. LISTED FIRE STOPPING MATERIAL TO MAINTAIN THE FIRE RATING OF THE BARRIER.
- PROVIDE NEW TYPE WRITTEN FINALIZED PANEL CIRCUIT DIRECTORIES FOR ALL NEW PANELS AND ALL EXISTING PANELS USED FOR THE PROJECT AT THE COMPLETION OF THE PROJECT.

GENERAL NOTES (DEMOLITION)

- REMOVE ALL EXISTING FIXTURES, WIRING DEVICES, ELECTRICAL EQUIPMENT AND BRANCH CIRCUIT WIRING, AS REQUIRED BY THE ARCHITECTURAL DEMOLITION WORK IN THE AREA TO BE RENOVATED. REMOVE WIRING BACK TO THE NEAREST POINT OF USAGE (SOURCE OF VOLTAGE). FOR ITEMS TO BE REMOVED, REMOVE THE ENTIRE ELECTRICAL INSTALLATION, INCLUDING ALL ASSOCIATED CONDUIT, JUNCTION BOXES, WIRING AND FITTINGS, INCLUDING CABLING AND SUPPORTS, SURFACE RACEWAY, ETC. REUSE EXISTING BOXES AND CONDUIT WHERE PRACTICAL. ALL CONDUIT NOT TO BE REUSED SHALL BE REMOVED.
- WHERE EXISTING FIXTURES, WIRING DEVICES, AND ELECTRICAL EQUIPMENT ARE REMOVED, RECONNECT CIRCUITING AS REQUIRED TO MAINTAIN CONTINUITY TO OUTLETS REMAINING ON THE CIRCUIT WITHIN OCCUPIED SPACES.
- WHERE REQUIRED BY NEW CONSTRUCTION, PROVIDE EXTENSION RINGS, COVERPLATES, OR ACCESS PLATES AS REQUIRED TO MAINTAIN ACCESS TO EXISTING WIRING.
- FIELD VERIFY LOCATIONS OF EXISTING OUTLETS. WHERE NEW CONSTRUCTION CONFLICTS WITH EXISTING OUTLETS, REMOVE WIRING DEVICES OR RELOCATE FIXTURES AS REQUIRED.
- WHERE EXISTING WIRING DEVICES ARE REMOVED AND JUNCTION BOXES ARE NOT REUSED, PATCH AND REPAIR OPENINGS. DO NOT PROVIDE BLANK COVERPLATES.
- WHERE EXISTING CIRCUITS ARE EXTENDED TO SERVE NEW OR RELOCATED DEVICES OR FIXTURES, PROVIDE TYPE AND SIZE OF CONDUCTORS TO MATCH.
- PROVIDE CUTTING AND PATCHING AS REQUIRED VERIFY EXTENT OF NEW AND EXISTING PARTITIONS WITH ARCHITECTURAL DRAWINGS.
- EXISTING CIRCUITING SHALL BE FIELD VERIFIED AND ADJUSTMENTS SHALL BE MADE IF NECESSARY TO THE CIRCUITING SHOWN ON THE PLANS, AS REQUIRED BY FIELD CONDITIONS.
- REMOVE AND CAP ALL EXISTING FLOOR OUTLETS IN SUCH MANNER AS TO RETAIN THE FIRE INTEGRITY OF THE FLOOR.
- PROVIDE EPA COMPLIANT DISPOSAL FOR ALL HAZARDOUS WASTE INCLUDING FLUORESCENT OR HID LAMPS, AND PCB BALLAST REMOVED.

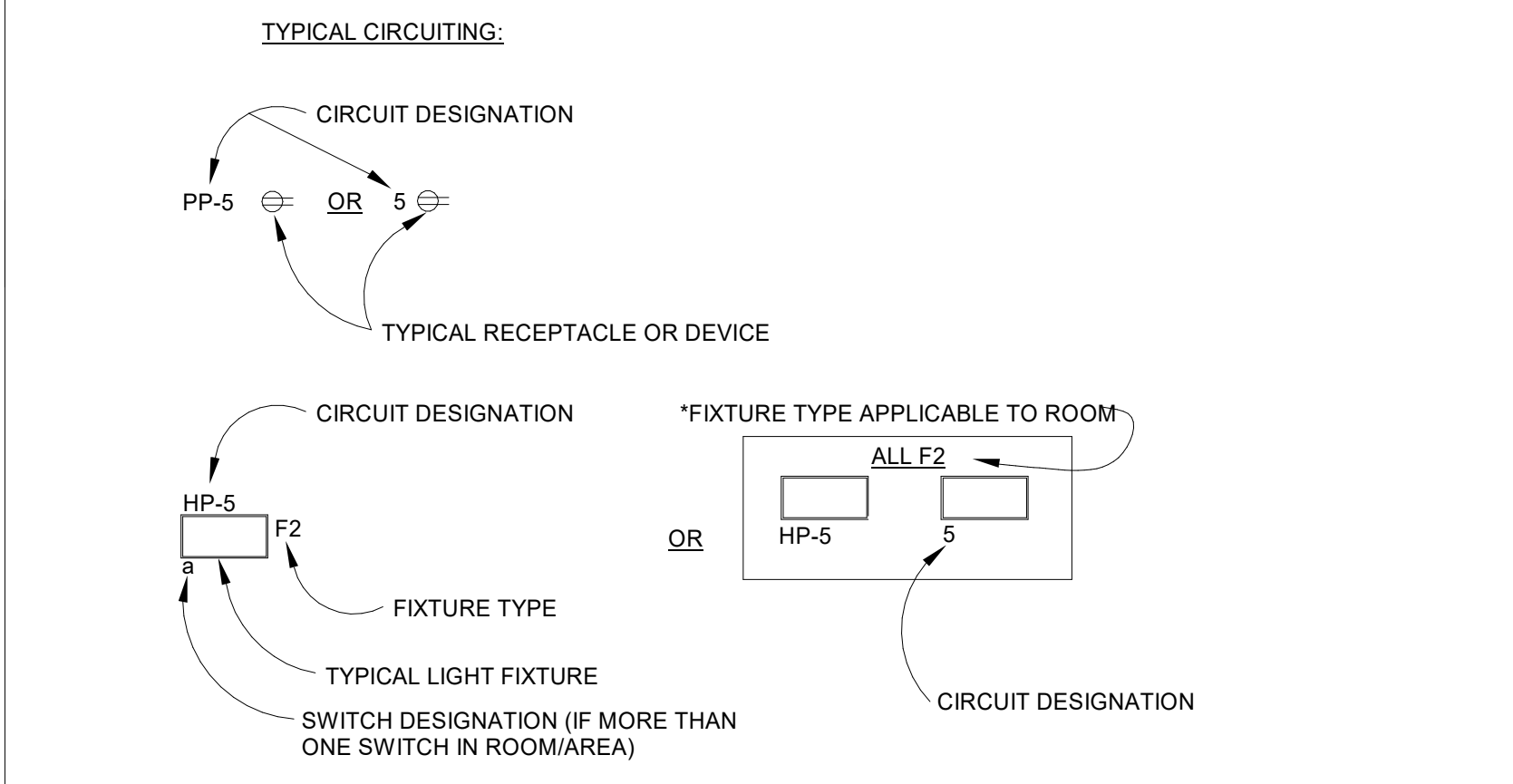
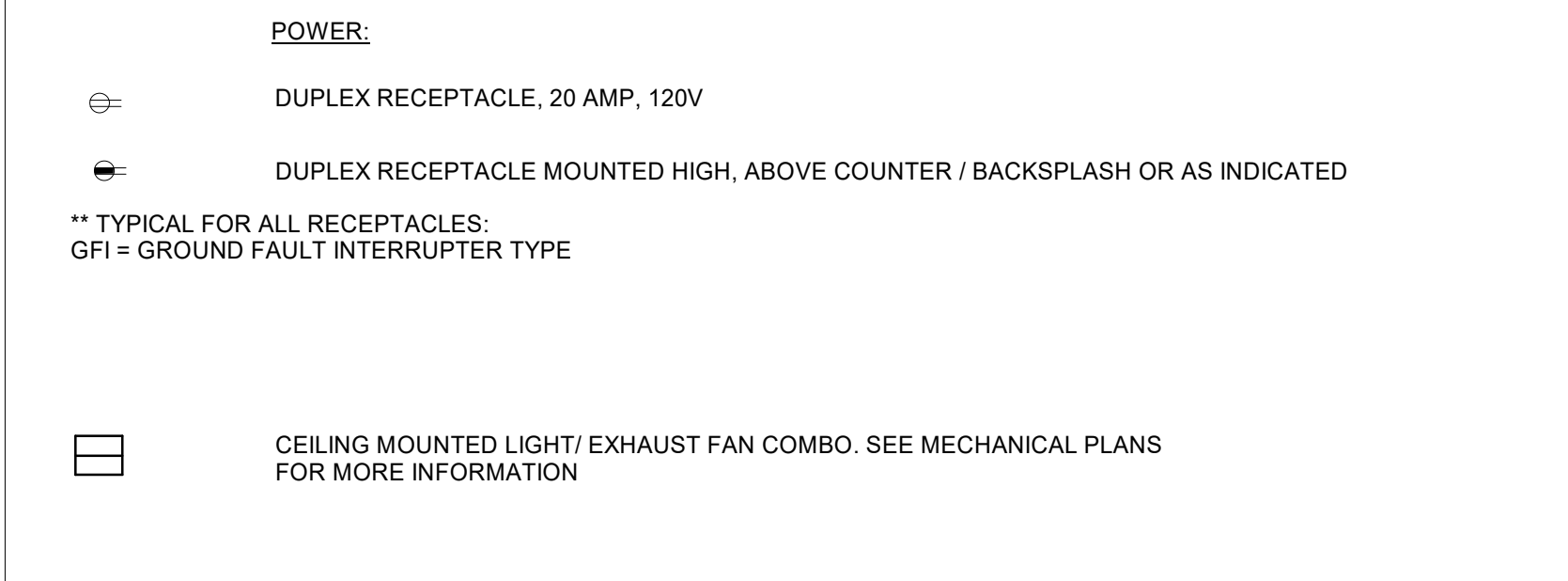
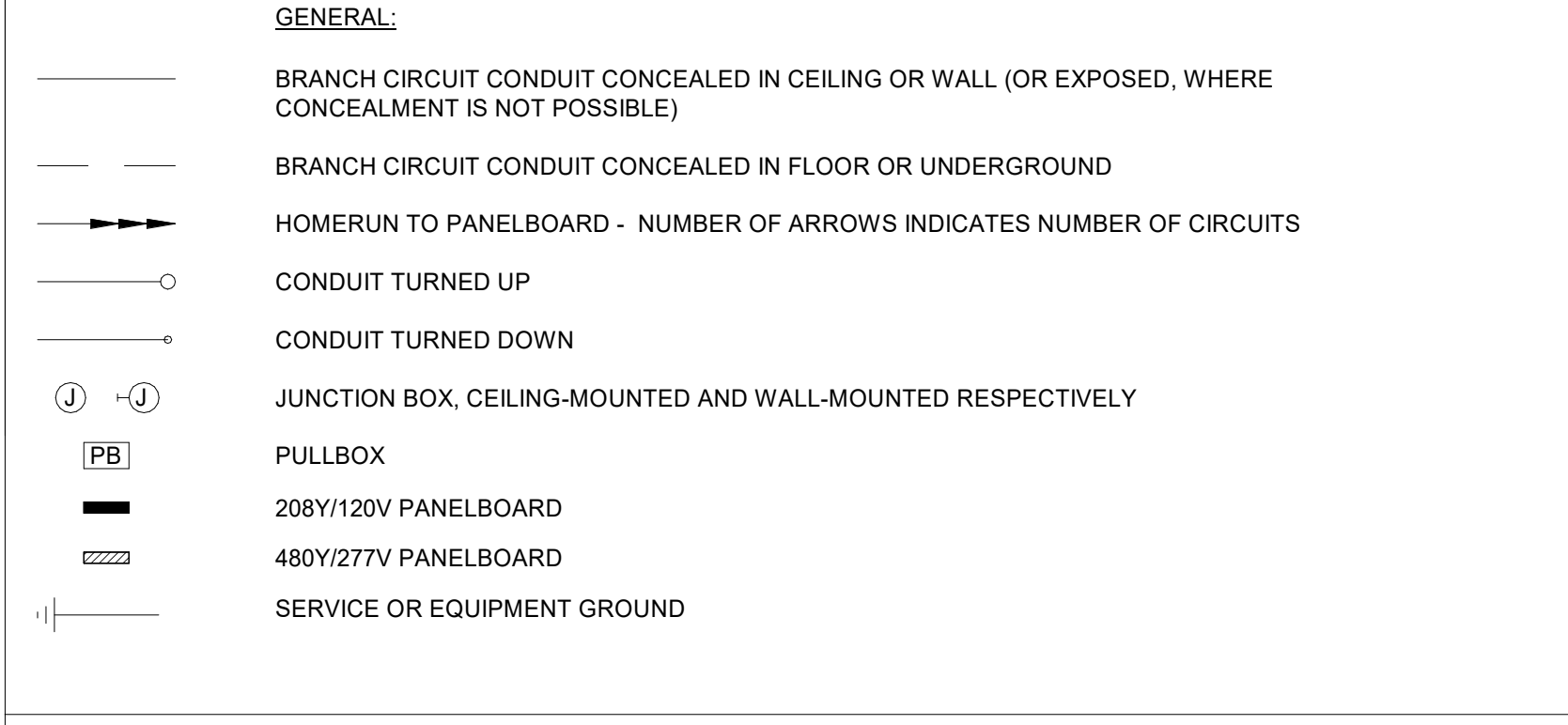
ABBREVIATIONS

NOTE: ALL ABBREVIATIONS MAY NOT BE USED.

| | | | |
|---------|--|------|---|
| A | AMPERES | LV | LOW VOLTAGE |
| AC | ALTERNATING CURRENT OR ABOVE COUNTER | MATV | MASTER ANTENNA TELEVISION |
| AE | ARCHITECT/ENGINEER | MC | MECHANICAL CONTRACTOR |
| AF | AMPERE FRAME | MCB | MAIN CIRCUIT BREAKER |
| AFF | ABOVE FINISHED FLOOR | MCC | MOTOR CONTROL CENTER |
| AFG | ABOVE FINISHED GRADE | MDP | MAIN DISTRIBUTION PANEL |
| AHJ | AUTHORITY HAVING JURISDICTION | MDS | MAIN DISTRIBUTION SWITCHBOARD |
| AHU | AIR HANDLING UNIT | MLO | MAIN LUGS ONLY |
| ANSI | AMERICAN NATIONAL STANDARDS INSTITUTES, INC. | MH | MANHOLE |
| AT | AMPERE TRIP | MSP | MOTOR STARTER PANEL |
| ASTM | AMERICAN SOCIETY FOR TESTING AND MATERIALS | MT | MOUNT |
| ATS | AUTOMATIC TRANSFER SWITCH | MTS | MANUAL TRANSFER SWITCH |
| AWG | AMERICAN WIRE GAUGE | MHT | MOUNTING HEIGHT |
| BAS | BUILDING AUTOMATION SYSTEM | NV | NEUTRAL |
| BC | BARE COPPER | NC | NORMALLY CLOSED |
| BPS | BOLTED PRESSURE SWITCH | NEC | NATIONAL ELECTRICAL CODE |
| C | CONDUIT | NEMA | NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION |
| CB | CIRCUIT BREAKER | NF | NOT IN CONTRACT |
| CBM | CERTIFIED BALLAST MANUFACTURERS | NF | NOT FUSED |
| CATV | COMMUNITY ANTENNA TELEVISION | NFPA | NATIONAL FIRE PROTECTION ASSOCIATION |
| CCTV | CLOSED CIRCUIT TELEVISION | NL | NIGHT LIGHT |
| CFI | CANDELA RATING | NO | NORMALLY OPEN |
| CFL | COMPACT FLUORESCENT | NTS | NOT TO SCALE |
| CKT | CIRCUIT | PA | PUBLIC ADDRESS |
| CLG | CEILING | PB | PULLBOX |
| CLG | CEILING | PH | PHASE |
| CT | CURRENT TRANSFORMER | P | POLE |
| CU | COPPER | PNL | PANELBOARD |
| DB | DIRECT BURIAL | PT | POTENTIAL TRANSFORMER |
| DE | DECEMBER | PWR | POWER |
| DC | DIRECT CURRENT | Q | QUARTS RESTRIKE LAMP |
| DISP | GARBAGE DISPOSAL | RN | RACEWAY |
| DN | DOWN | REC | RECEPTACLE |
| DWG | DRAWING | REF | REFRIGERATOR |
| E.C. | ELECTRICAL CONTRACTOR | RM | ROOM |
| EF | EMPTY CONDUIT | RMG | RIGID METAL CONDUIT |
| EG | EQUIPMENT GROUND | RS | RAPID START |
| ELBU | EMERGENCY LIGHTING BATTERY UNIT | RV | REMOVE EXISTING |
| EM | EMERGENCY | SA | SURGE ARRESTOR |
| EMR | EQUIPMENT MANUFACTURER REQUIREMENT | SN | SOLID NEUTRAL |
| EMT | ELECTRIC METALLIC TUBING | SPD | SURGE PROTECTION DEVICE |
| ETR | EXISTING TO REMAIN | SS | SAFETY SWITCH |
| EUH | ELECTRIC UNIT HEATER | SW | SWITCH |
| EWC | ELECTRIC WATER COOLER | SWBD | SWITCHBOARD |
| EX | EXISTING | SWGR | SWITCHGEAR |
| F | FUSE | TB | TELEPHONE TERMINAL BOARD |
| FA | FIRE ALARM | TTC | TELEPHONE TERMINAL CABINET |
| FAAP | FIRE ALARM ANNUNCIATOR PANEL | TCU | TELEPHONE |
| FACP | FIRE ALARM CONTROL PANEL | TEL | TELEVISION |
| FAN | FAN COIL UNIT | TVSS | TRANSIENT VOLTAGE SURGE SUPPRESSOR |
| FDAS | FIRE DETECTION ALARM SYSTEM | TV | TELEVISION |
| FLUOR | FLUORESCENT | TVSS | TRANSIENT VOLTAGE SURGE SUPPRESSOR |
| FPXAV | FAN POWERED VARIABLE AIR VOLUME BOX | TV | TYPICAL |
| FPN | FUSE PER NAMEPLATE | UC | UNDER COUNTER |
| GC | GENERAL CONTRACTOR | UH | UNIT HEATER |
| GG | GROUNDING | UL | UNDERWRITERS' LABORATORIES, INC. |
| GF, GFI | GROUND FAULT CIRCUIT INTERRUPTER | UN | UNLESS OTHERWISE NOTED |
| GFR | GROUND FAULT RELAY | UPS | UNINTERRUPTIBLE POWER SUPPLY |
| G, GND | GROUND | V | VOLTS |
| HH | HANDHOLE | VP | VAPOR PROOF |
| HOA | HAND OFF AUTOMATIC | VAV | VARIABLE AIR VOLUME BOX |
| HP | HORSEPOWER | VFD | VARIABLE FREQUENCY DRIVE |
| HZ | HERTZ | W | WIRE, WATTS |
| IG | ISOLATED GROUND | WAP | WIRELESS ACCESS POINT |
| IMC | INTERMEDIATE METAL CONDUIT | WH | WATER HEATER |
| JB | JUNCTION BOX | WP | WEATHERPROOF |
| KCMIL | THOUSAND CIRCULAR MILS | XFMR | TRANSFORMER |
| KW | KILOWATT | | |
| KV | KILO VOLT | | |
| KVA | KILO VOLT-AMPERE | | |
| L | LOCKING | | |
| LCP | LIGHTING CONTROL PANEL | | |

ELECTRICAL SYMBOL SCHEDULE

NOTE: ALL SYMBOLS MAY NOT BE USED.

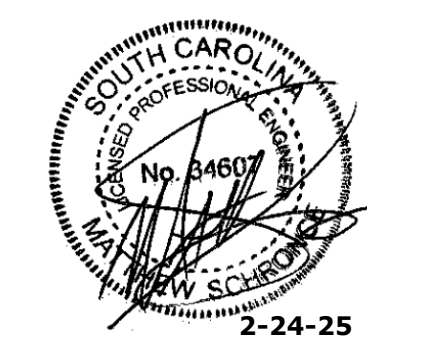


MOUNTING HEIGHTS

(DISTANCE FROM FINISHED FLOOR TO CENTER OF DEVICE, UNLESS OTHERWISE NOTED)

| | | |
|--|-----|-----------------------------|
| RECEPTACLES: | | |
| GENERAL | 18" | UNLESS OTHERWISE NOTED |
| ABOVE 36" COUNTER TOPS | 44" | UNLESS OTHERWISE NOTED |
| ABOVE OR ADJACENT TO LAVATORIES | 44" | UNLESS OTHERWISE NOTED |
| BEHIND REFRIGERATORS | 52" | UNLESS OTHERWISE NOTED |
| BEHIND WASHERS/DRYERS | 44" | UNLESS OTHERWISE NOTED |
| LIGHT SWITCHES/OCCUPANCY WALL SWITCHES | 46" | |
| COMMUNICATIONS OUTLETS: | | |
| TELE/ DATA OUTLETS | | SAME AS ADJACENT RECEPTACLE |
| ABOVE COUNTER TOPS | 44" | UNLESS OTHERWISE NOTED |
| CABLE TV OUTLETS | | SAME AS ADJACENT RECEPTACLE |

NOTE: FOR ALL DEVICES LOCATED IN CMU WALL, INSTALL BOXES AS FOLLOWS: THE TOP OF THE BOX SHALL MATCH THE TOP OF THE BLOCK COURSING. MOUNT BOXES AT 48" TO TOP FOR SWITCHES AND 16" TO BOTTOM OF BOXES FOR OUTLETS. WHERE OUTLETS ARE SHOWN TO BE MOUNTED HIGH, ADJUST HEIGHT AS REQUIRED TO TOP OF BLOCK COURSING.



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DESIGN TEAM
SB, Matthew Schronce P.E.

Village Apartments Interior Renovation, FMU

OSE PROJECT NUMBER - H18-1095-SG

PROJECT NO.
4142197600

SHEET TITLE
ELECTRICAL COVERSHEET

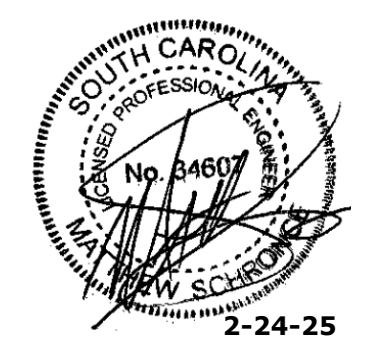
SHEET NUMBER
E000

KEY NOTES

- CONTRACTOR SHALL FIELD VERIFY THE EXISTING RECEPTACLE TO BE GFI IN EACH BATHROOM. IF EXISTING RECEPTACLE IS NOT GFI, CONTRACTOR SHALL REPLACE RECEPTACLE WITH A NEW GFI RECEPTACLE AND CONNECT TO EXISTING CIRCUIT. CONFIRM FINAL COLOR WITH ARCHITECT. NO LOAD CHANGE.
- CONTRACTOR SHALL DEMOLISH EXISTING CEILING LIGHTING FIXTURE AND PROVIDE A BLANK COVER PLATE. EXACT LOCATION OF LIGHT FIXTURE SHALL BE FIELD VERIFIED.
LOAD OF REMOVED LIGHTING: 200W PER BATHROOM
LOAD OF NEW CEILING & SCONCE FIXTURE: 26W PER BATHROOM
TOTAL LOAD REDUCED: 174W PER BATHROOM
- CONTRACTOR SHALL DEMOLISH EXISTING EXHAUST FAN. THE CIRCUIT FOR THE EXISTING EXHAUST SHALL REMAIN FOR CONNECTION TO NEW FAN.
- CONTRACTOR SHALL DEMOLISH ONE TOGGLE SWITCH FURTHEST FROM THE DOOR. THE TOGGLE SWITCH CLOSEST TO THE DOOR SHALL REMAIN TO CONNECT NEW FAN AND NEW LIGHTING TOGETHER. EXACT LOCATION OF TOGGLES SHALL BE FIELD VERIFIED. CONTRACTOR SHALL COORDINATE COLOR OF TOGGLE SWITCHES WITH THE ARCHITECT. AND REPLACE ONE FOR ONE IF EXISTING TOGGLE IS NOT THE COLOR THE ARCHITECT SPECIFIES.
- CONTRACTOR SHALL CONNECT NEW LIGHT/EXHAUST FAN COMBO DEVICE TO EXISTING CIRCUIT THAT SERVED THE DEMOLISHED FAN. CONTROL THE NEW LIGHT/FAN COMBO DEVICE AND NEW WALL SCONCE LOCATED OVER THE MIRROR TO THE EXISTING SINGLE POLE TOGGLE SWITCH.
LOAD OF REMOVED FAN: 50W PER BATHROOM
LOAD OF NEW FAN EF-1: 11W PER BATHROOM
TOTAL LOAD REDUCED: 39W PER BATHROOM

GENERAL SHEET NOTES

- MAINTAIN CIRCUITRY OF ALL EXISTING OUTLETS TO REMAIN, UNLESS INDICATED OTHERWISE. PROVIDE ALL NECESSARY SUPPLEMENTAL WIRING AND CONDUIT AS REQUIRED.
- WHERE EXISTING CIRCUITRY IS REUSED, CONTRACTOR SHALL VERIFY LOAD DOES NOT EXCEED 1,920 VA @ 120V (OR 4,452 VA @ 277V).
- CONTRACTOR SHALL REUSE EXISTING BACKBOXES, CONDUIT AND WIRING TO FURTHEST EXTENT PRACTICAL. SUPPLEMENT WHERE NEEDED.
- ALL NEW RECEPTACLES AND TELEPHONE/DATA OUTLETS SHALL BE FLUSH-MOUNTED. ALL NEW CONDUIT AND RACEWAY SHALL BE CONCEALED. PROVIDE CUTTING AND PATCHING AS REQUIRED. VERIFY EXTENT OF NEW AND EXISTING PARTITIONS WITH ARCHITECTURAL DRAWINGS.
- CONTRACTOR SHALL REUSE EXISTING CONDUIT AND WIRING TO FURTHEST EXTENT PRACTICAL. SUPPLEMENT WHERE NEEDED.
- ALL NEW WIRING DEVICES SHALL BE RECESSED IN NEW OR EXISTING WALLS AS INDICATED. ALL CONDUIT SHALL BE CONCEALED. PROVIDE CUTTING AND PATCHING AS REQUIRED. VERIFY EXTENT OF NEW AND EXISTING PARTITIONS WITH ARCHITECTURAL DRAWINGS.
- CONTRACTOR TO CLEAN LIGHT FIXTURES THAT ARE EXISTING TO REMAIN WITHIN SCOPE OF WORK. ALSO RELAMP LIGHT FIXTURES THAT REQUIRE IT AS NECESSARY.
- TYPICAL UNIT LAYOUT SHOWN. CONTRACTOR TO FIELD VERIFY CONDITIONS IN EACH UNIT AND NOTIFY ARCHITECTURAL TEAM SHOULD SIGNIFICANT VARIATIONS ARISE. BEFORE PROCEEDING WITH WORK. EXACT DEVICE AND FIXTURE LOCATIONS MAY VARY. COORDINATE WITH EXISTING CONDITIONS ON A UNIT BY UNIT BASIS.
- ALL NEW AND EXISTING DEVICES IN BATHROOMS SHALL HAVE EGG SHELL COLORED COVER PLATES.



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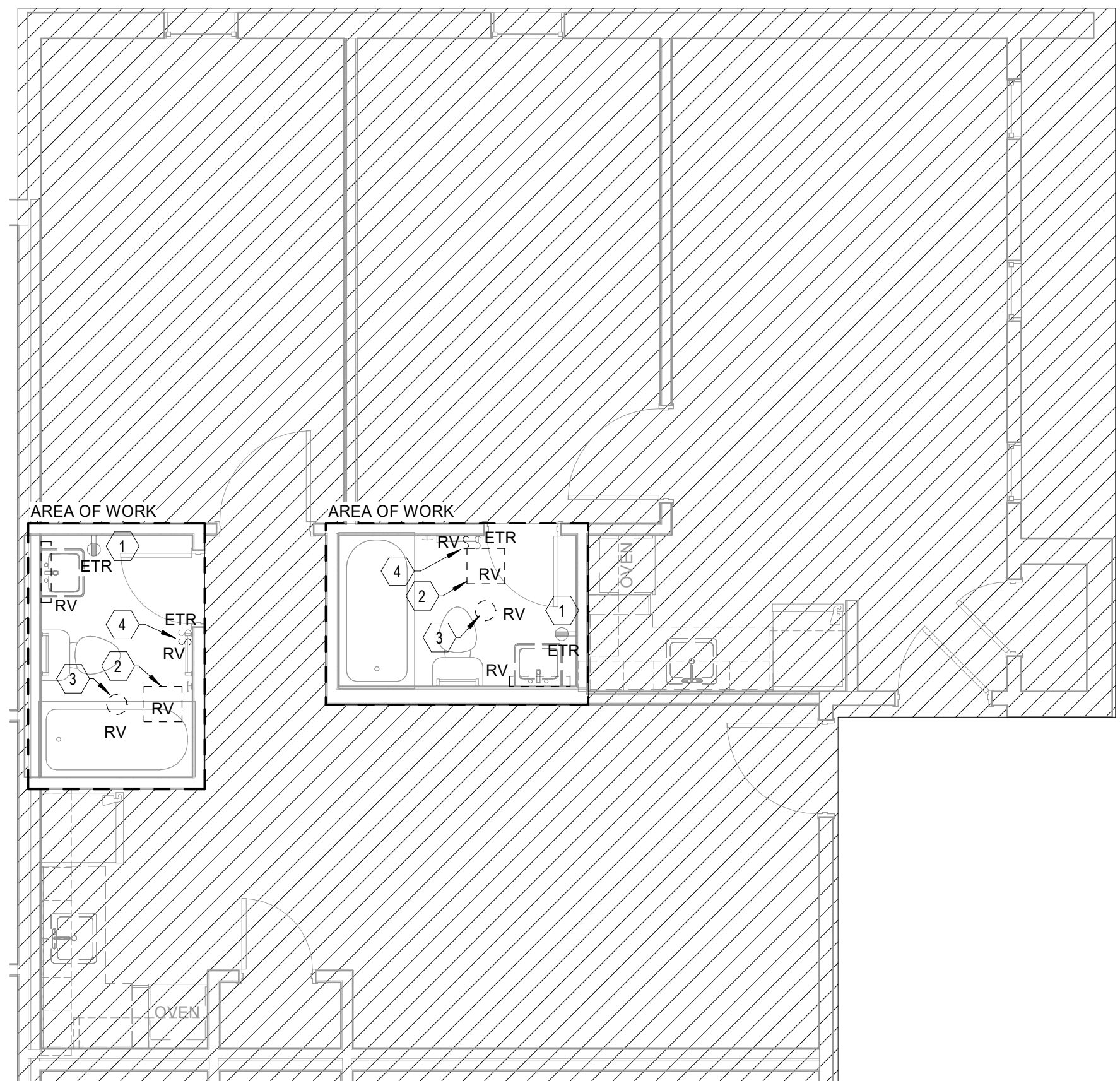
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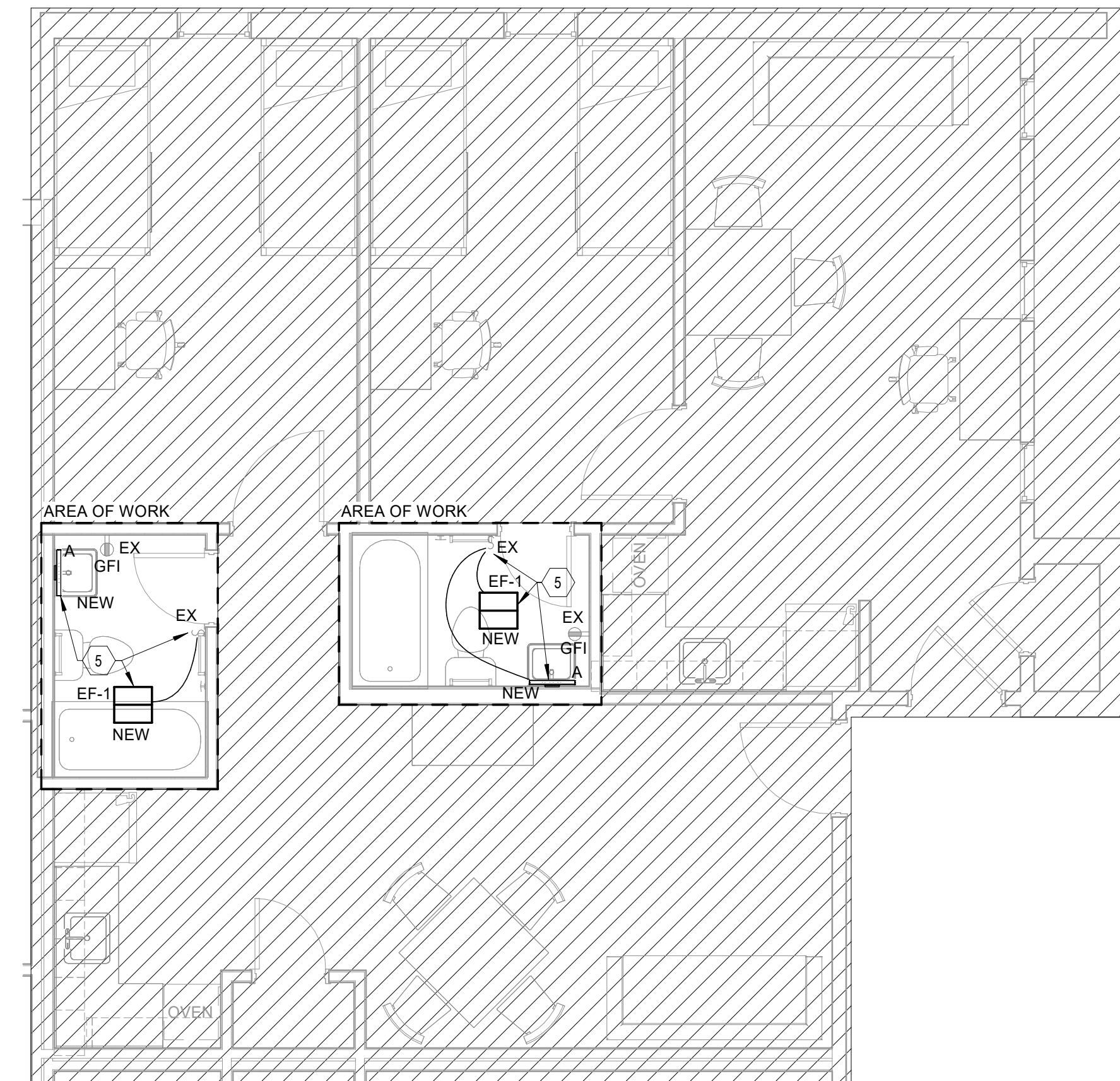
PROJECT NO. 4142197600

SHEET TITLE ELECTRICAL PLANS - 1BR. A/B

SHEET NUMBER E111.AB



1 DEMOLITION ELECTRICAL PLAN - 1BR.AB
E111.AB 1/4" = 1'-0"

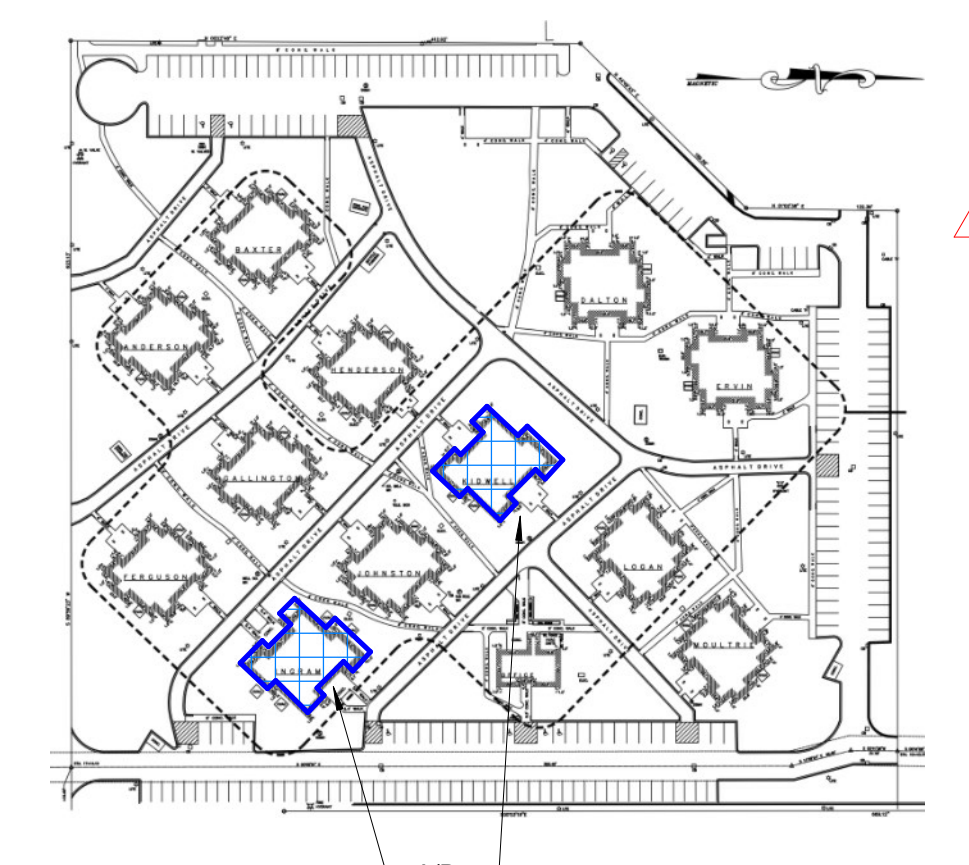


2 NEW ELECTRICAL PLAN - 1BR.AB
E111.AB 1/4" = 1'-0"

LIGHTING FIXTURE SCHEDULE A/B

| TYPE | DESCRIPTION | MANUFACTURER | SERIES | Apparent Load | COMMENTS |
|------|------------------------------------|--------------------------------------|------------------------|---------------|--|
| A | 18" LED WALL MOUNTED LINEAR SCONCE | WAC Lighting - Brink Bathroom Sconce | WS-77618-2700K-KAL-16W | 16 kVA | MOUNT CENTERED ABOVE MIRROR AND CEILING. |

KEY PLAN



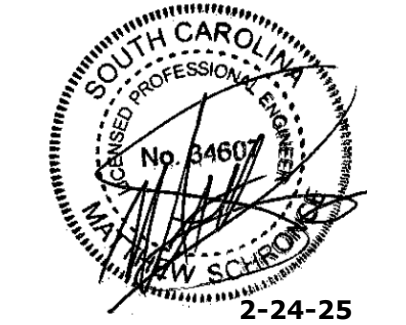
F
E
D
C
B
A

KEY NOTES

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LOAD OF NEW CEILING & SCONCE FIXTURE: 26W PER BATHROOM
TOTAL LOAD REDUCED: 174W PER BATHROOM
- CONTRACTOR SHALL DEMOLISH EXISTING EXHAUST FAN. THE CIRCUIT FOR THE EXISTING EXHAUST SHALL REMAIN FOR CONNECTION TO NEW FAN.
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LOAD OF REMOVED FAN: 50W PER BATHROOM
LOAD OF NEW FAN EF-1: 11W PER BATHROOM
TOTAL LOAD REDUCED: 39W PER BATHROOM

GENERAL SHEET NOTES

- MAINTAIN CIRCUITRY OF ALL EXISTING OUTLETS TO REMAIN, UNLESS INDICATED OTHERWISE. PROVIDE ALL NECESSARY SUPPLEMENTAL WIRING AND CONDUIT AS REQUIRED.
- WHERE EXISTING CIRCUITRY IS REUSED, CONTRACTOR SHALL VERIFY LOAD DOES NOT EXCEED 1.920 VA @ 120V (OR 4.432 VA @ 277V).
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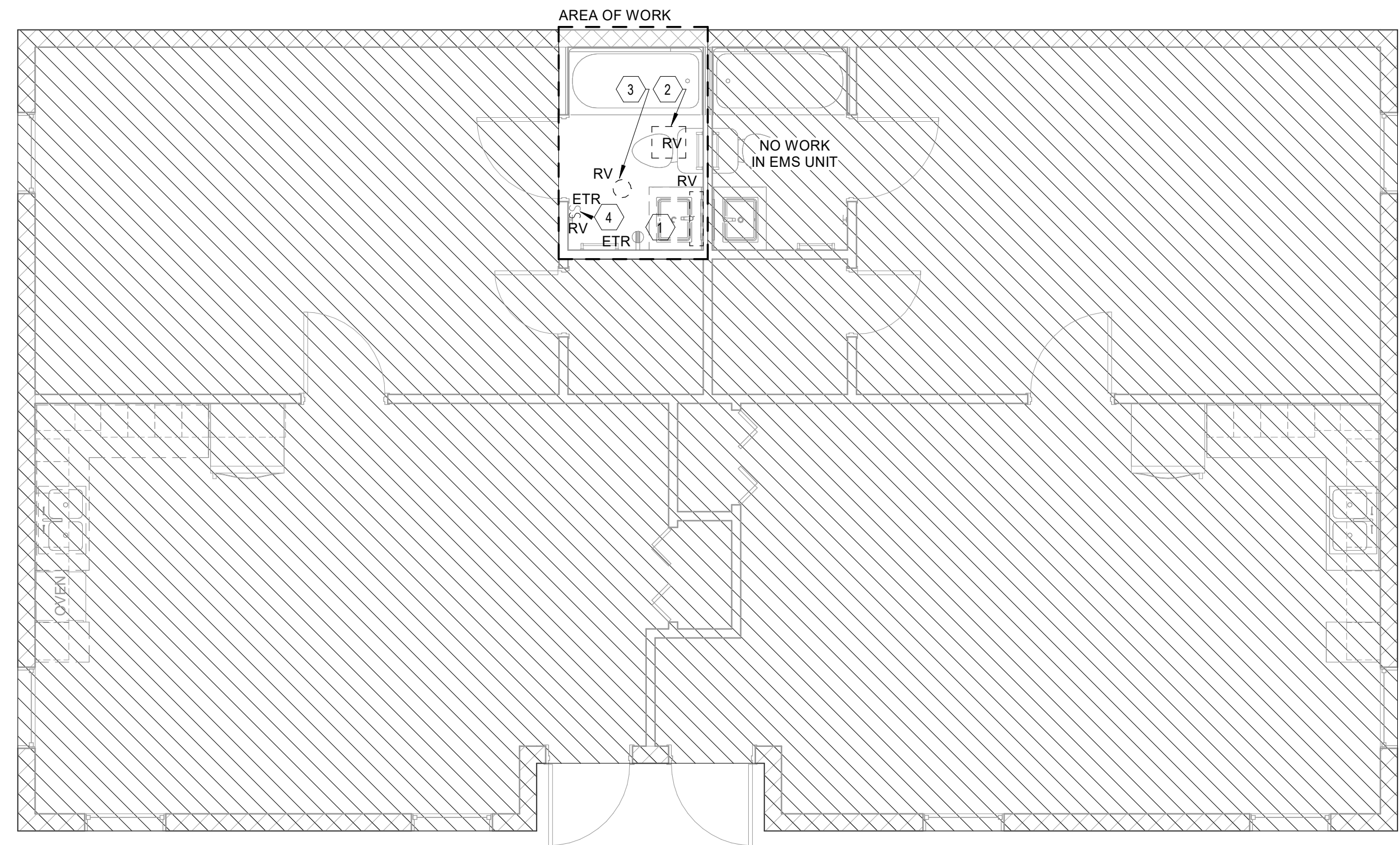
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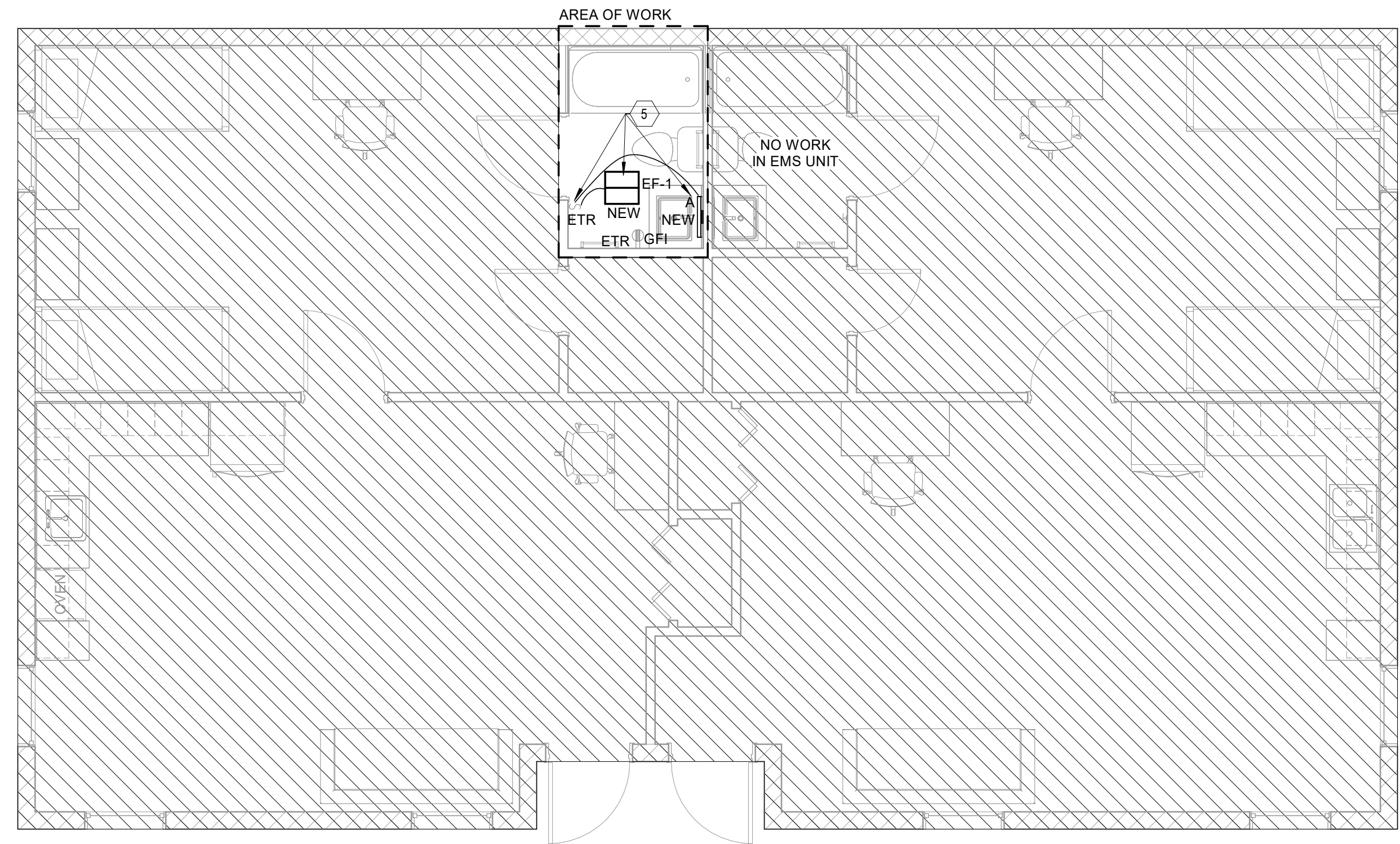
PROJECT NO.
4142197600

SHEET TITLE
ELECTRICAL PLANS - 1BR. C

SHEET NUMBER
E111.C



1 DEMOLITION ELECTRICAL PLAN - 1BR.C
E111.C 1/4" = 1'-0"

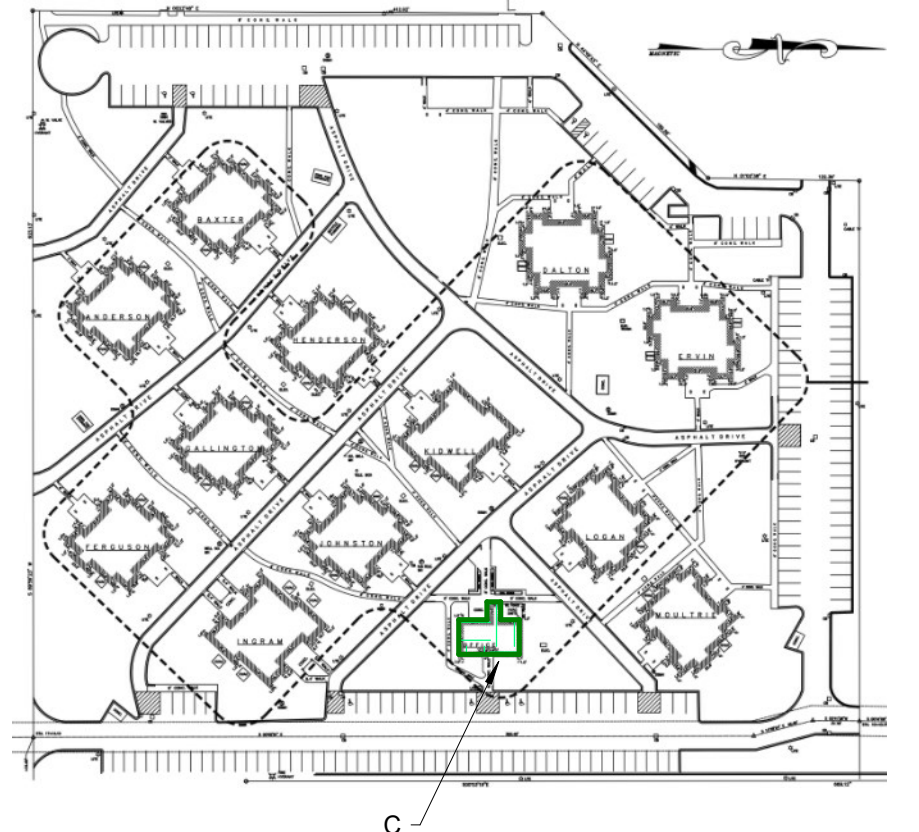


2 NEW ELECTRICAL PLAN - 1BR.C
E111.C 1/4" = 1'-0"

LIGHTING FIXTURE SCHEDULE C

| TYPE | DESCRIPTION | MANUFACTURER | SERIES | Apparent Load | COMMENTS |
|------|------------------------------------|--------------------------------------|-----------------------|---------------|--|
| A | 18" LED WALL MOUNTED LINEAR SCONCE | WAC Lighting - Brink Bathroom Sconce | WS-77618-2700K-AL-16W | 16 kVA | MOUNT CENTERED ABOVE MIRROR AND CEILING. |

KEY PLAN

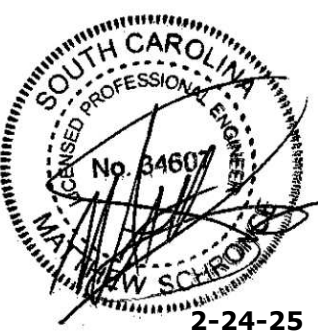


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LOAD OF 2 REMOVED FANS: 100W PER BATHROOM
LOAD OF NEW FAN EF-1: 11W PER BATHROOM/SHOWER
LOAD OF NEW FAN EF-2: 7W PER WATERCLOSET
TOTAL LOAD REDUCED: 82W PER BATHROOM
- CONNECT NEW WALL MOUNTED SCONCES TO EXISTING CIRCUIT OF THE DEMOLISH SCONCES CONTROL VIA THE EXISTING TOGGLE SWITCH IN THE ROOM AS SHOWN.

GENERAL SHEET NOTES

- MAINTAIN CIRCUITRY OF ALL EXISTING OUTLETS TO REMAIN, UNLESS INDICATED OTHERWISE. PROVIDE ALL NECESSARY SUPPLEMENTAL WIRING AND CONDUIT AS REQUIRED.
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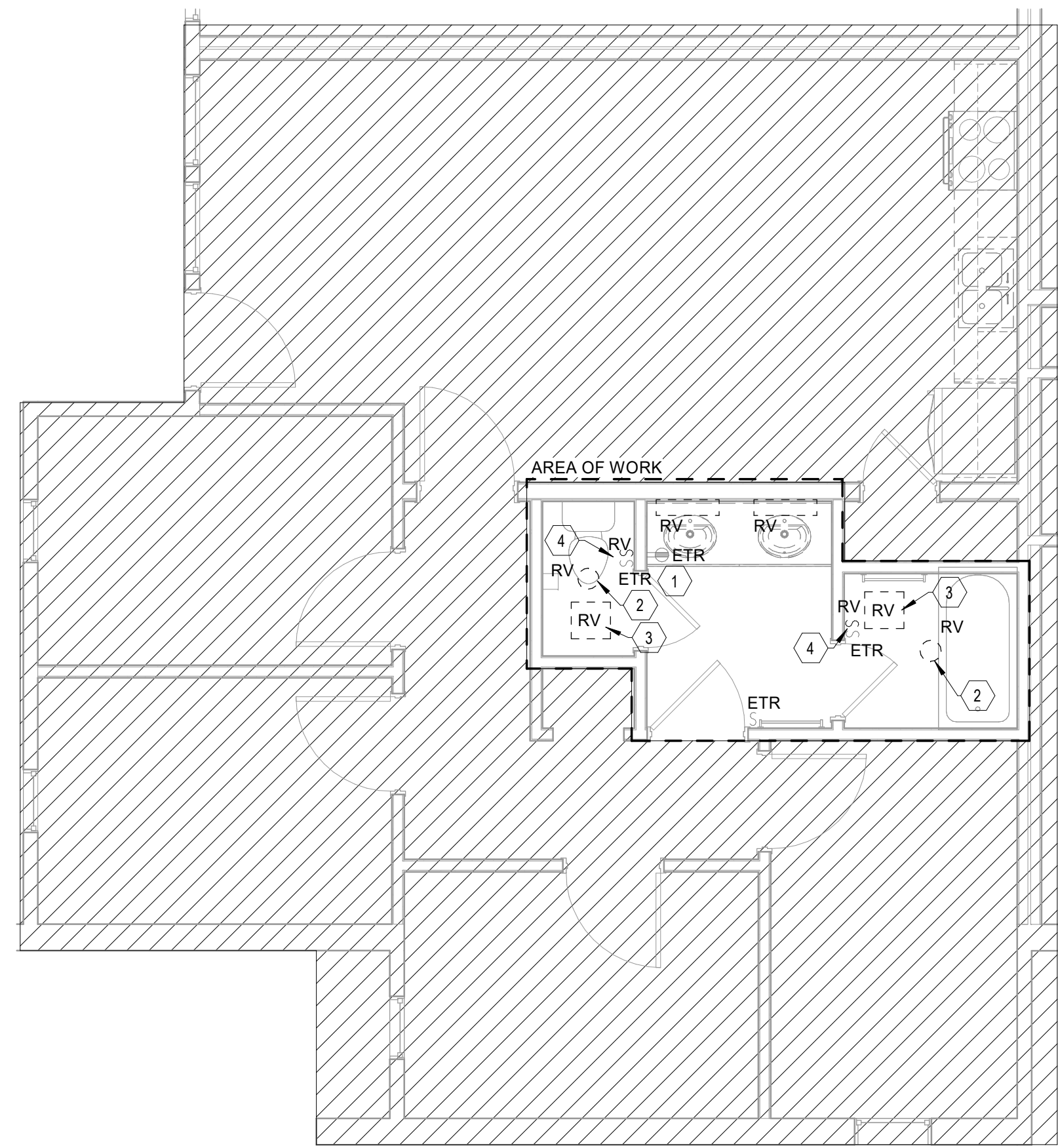
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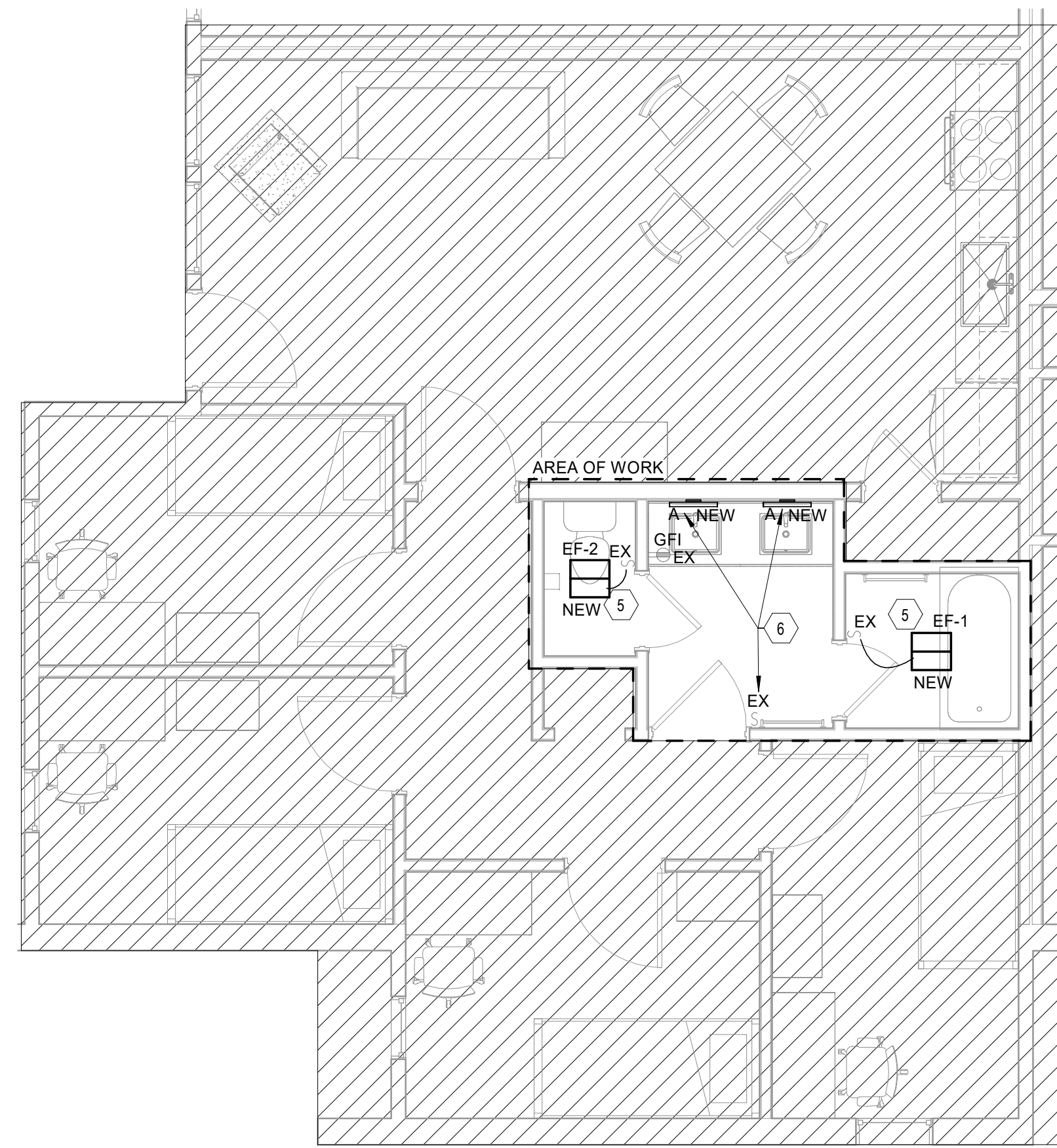
SHEET NUMBER
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SHEET TITLE
ELECTRICAL PLANS - 4BR. D

SHEET NUMBER
E111.D

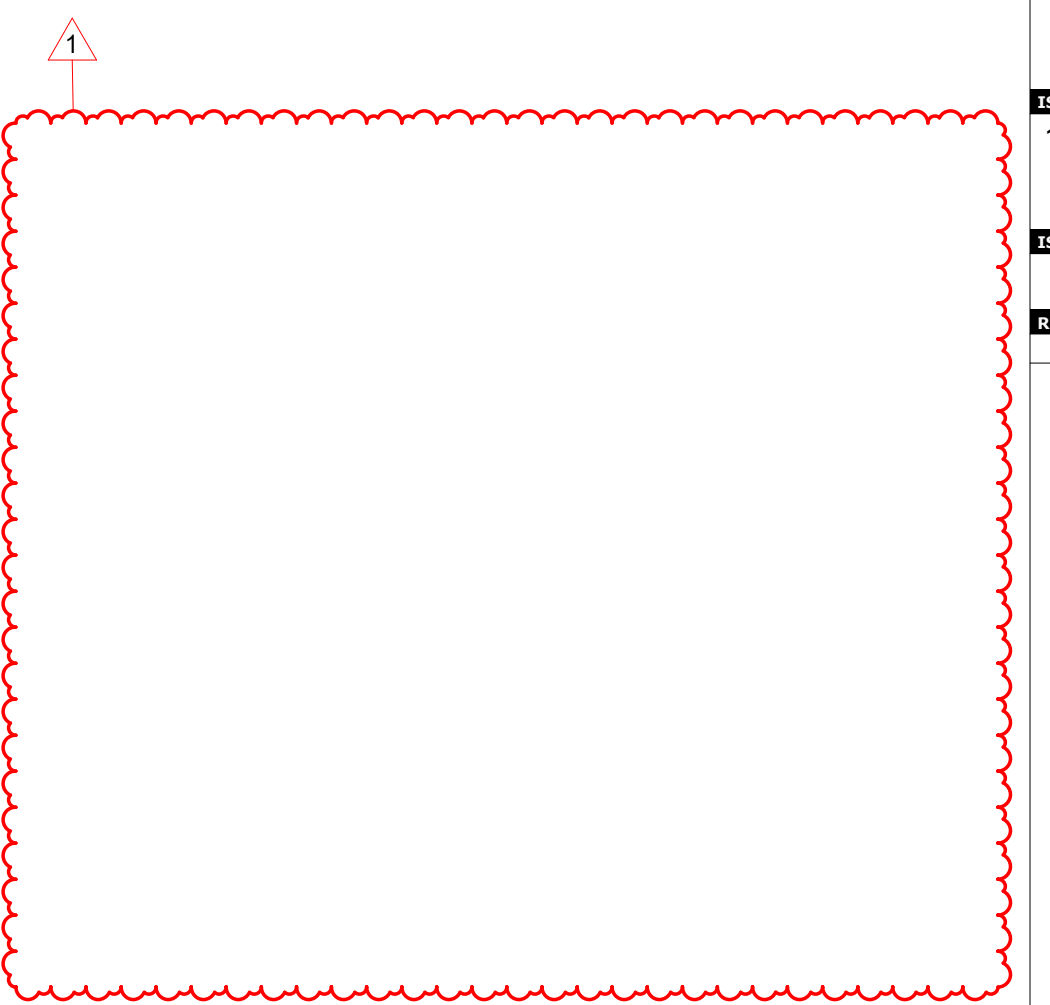


1 DEMOLITION ELECTRICAL PLAN - 4BR.D
E111.D 1/4" = 1'-0"

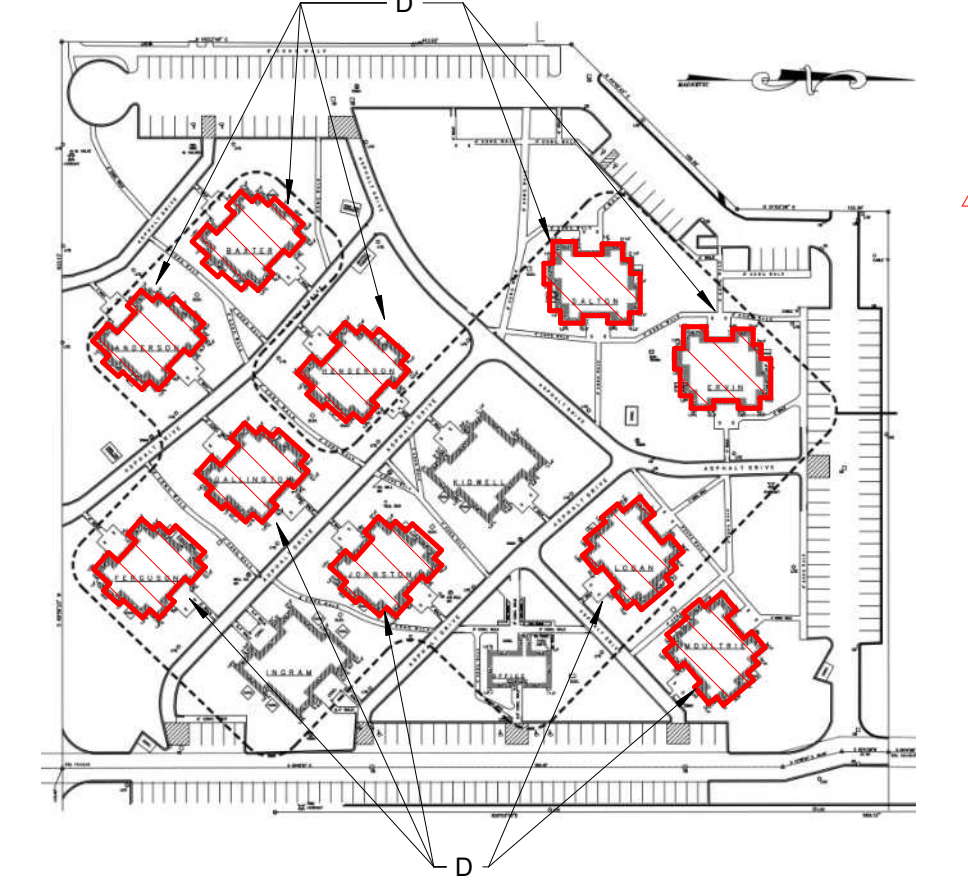


2 NEW ELECTRICAL PLAN - 4BR.D
E111.D 1/4" = 1'-0"

| LIGHTING FIXTURE SCHEDULE D | | | | | |
|-----------------------------|------------------------------------|-------------------------------------|-----------------------|---------------|--|
| TYPE | DESCRIPTION | MANUFACTURER | SERIES | Apparent Load | COMMENTS |
| A | 18" LED WALL MOUNTED LINEAR SCONCE | WAC Lighting - Bink Bathroom Sconce | WS-77616-2700K-AL-16W | 16 kVA | MOUNT CENTERED ABOVE MIRROR AND CEILING. |



KEY PLAN



WAC LIGHTING

Brink
Bathroom Sconce

| Model & Size | Color Temp | Finish | LED Watts | LED Lumens | Delivered Lumens |
|--------------|------------|---|-----------|----------------------|----------------------|
| WS-77618-10" | 3000K | AL Brushed Aluminum BK Brushed Black | 10W | 1135 1225 1330 | 1015 1015 1115 |
| | 3000K | | | | |
| | 3500K | | | | |

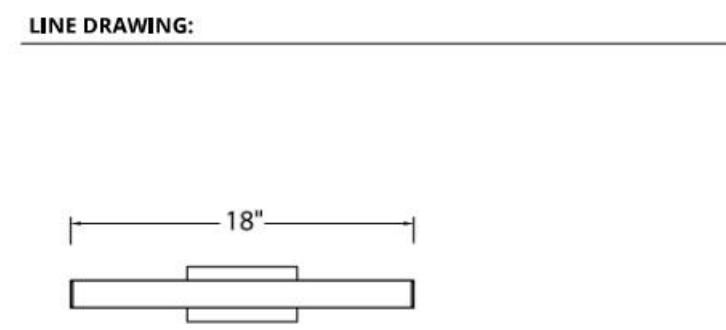
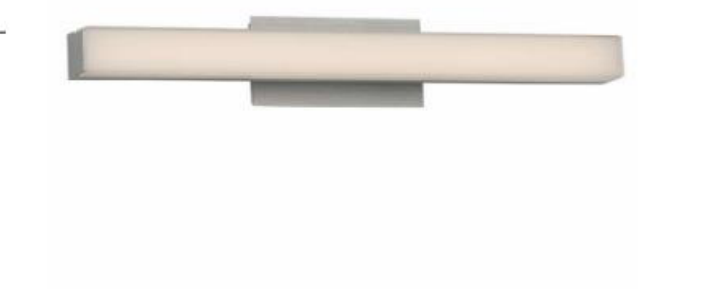
Example: WS-77618-35-BK
For custom requests please contact custom@wacighting.com

DESCRIPTION
A beautiful bar of pure LED light radiates through the co-extruded acrylic diffuser for brighter illumination, and an adjustable back plate adds versatility to this design's many attributes. It's a clean modern sconce anywhere you mount it.

- FEATURES**
- Conversion plate for 4" box included
 - Adjustable backplate
 - Trimless spackle cover available for 4" square junction box recessed in drywall (thicknesses of 1/2", 5/8", 1", and 1-1/4"; accessory not included and can be ordered separately (model# CP-1-WT))
 - Built in color temperature adjustability. Switch from 2700K/3000K/3500K
 - Option to pre-select color temperature or adjust in the field
 - Driver installed within the junction box, driver dimension: 2.8" x 1.6" x 1.1"
 - 5 year warranty

SPECIFICATIONS

Color Temp: 2700K, 3000K, 3500K
Input: 120-277V, 50/60Hz
CRI: 90
Dimming: ELV 100-10%
Rated Life: 50,000 Hours
Mounting: Can be mounted on wall in all orientations
Standards: ETL, cETL, Energy Star 2.0, ADA, Damp Location Listed
Construction: Aluminum hardware with co-extruded acrylic diffuser



WS-77618

wacighting.com | Phone (800) 526-2588 | Fax (800) 526-2581 | Headquarters/Eastern Distribution Center 41 Harbor Park Drive Port Washington, NY 11050
WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. January 2025

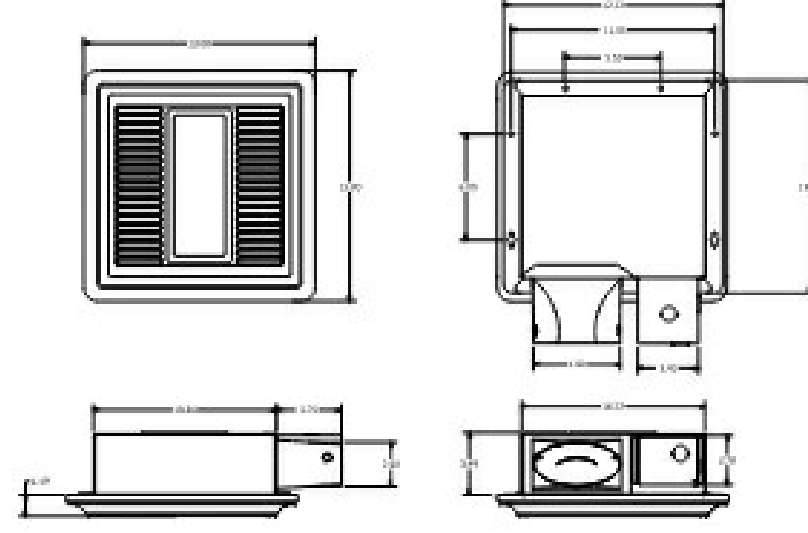
GREENHECK

Building Value in Air.

Model: SP-LP0810WL
Ceiling Exhaust Fan

Standard Construction Features:
- Painted steel housing - White non-yellowing grille - Oval metal outlet duct collar with integral backdraft damper - Forward curved wheel - Plug type disconnect - Mounting brackets - Customizable speed (Low 30-40-50-60-70 and High 80-100)

Selected Options & Accessories:
Motor rated for continuous use
Motor with Thermal Overload
Motor with CSA Approval
Motor with 40 Degree C Ambient Temperature
UL/cUL 507 Listed - Electric Fan
LED, 10W with Frosted Lens, 750 lumens, 3000K color temperature, dimmable
Integrated Time Delay Switch
Oval Duct Connection
Adjustable non-adjustable mounting bracket
Lighted Grille
Polypropylene Wheel Material
Can Be Used to Comply with: ASHRAE 62.2, California Title 24, and Washington State Energy Code



Dimensional

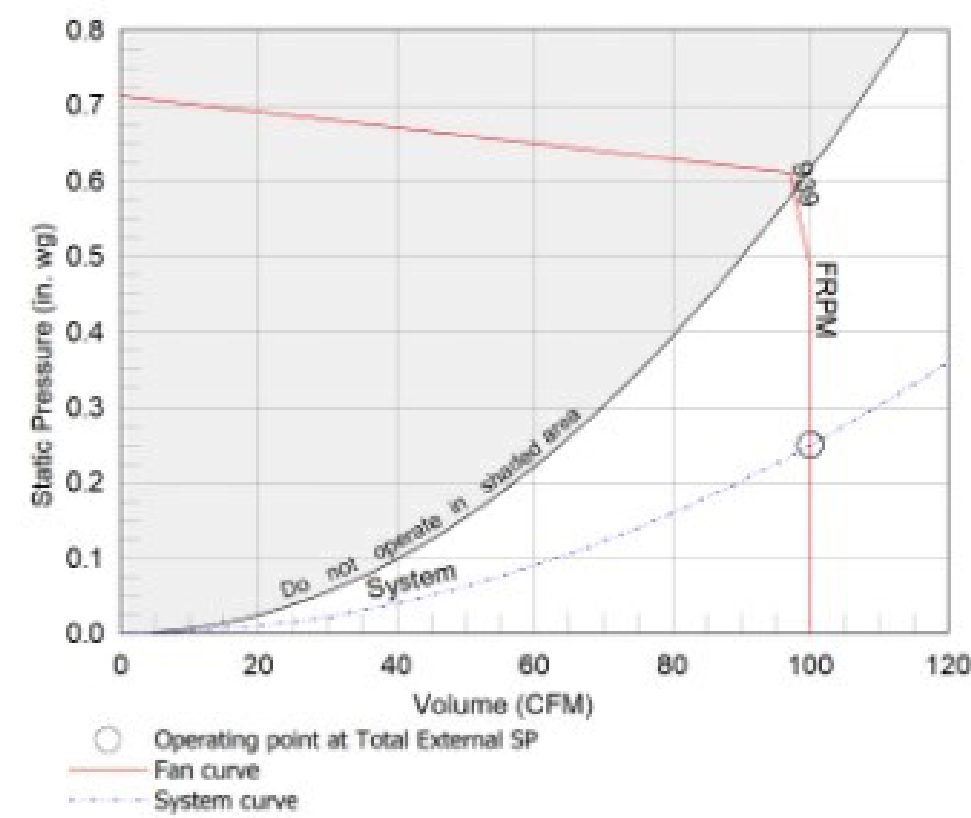
| | |
|-----------------------|---|
| Quantity | 1 |
| Weight w/o Acc's (lb) | 6 |
| Weight w/ Acc's (lb) | 8 |

Performance

| | |
|----------------------------|-------|
| Requested Volume (CFM) | 100 |
| Actual Volume (CFM) | 100 |
| Total External SP (in. wg) | 0.25 |
| Fan RPM | 939 |
| * FLA (A) | 0.29 |
| Elevation (ft) | 768 |
| Airstream Temp (F) | 70 |
| Air Density (lb/ft3) | 0.073 |
| Sones | 1.5 |

Motor

| | |
|---------------------|----------|
| Motor Mounted | Yes |
| ** Input Watts (W) | 11 |
| Voltage/Cycle/Phase | 115/60/1 |
| Enclosure | TEAO |



Notes:
All dimensions shown are in units of in.
*FLA is approximate and will vary slightly with the motor.
Sones - calculated using AMCA 881 at 5 ft.
** Watts is approximate and may vary between motors.

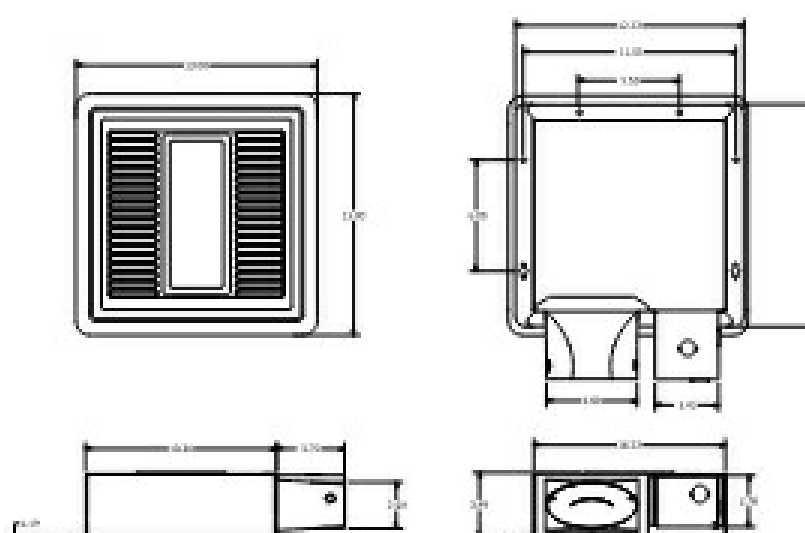
GREENHECK

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Oval Duct Connection
Adjustable non-adjustable mounting bracket
Lighted Grille
Polypropylene Wheel Material
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Dimensional

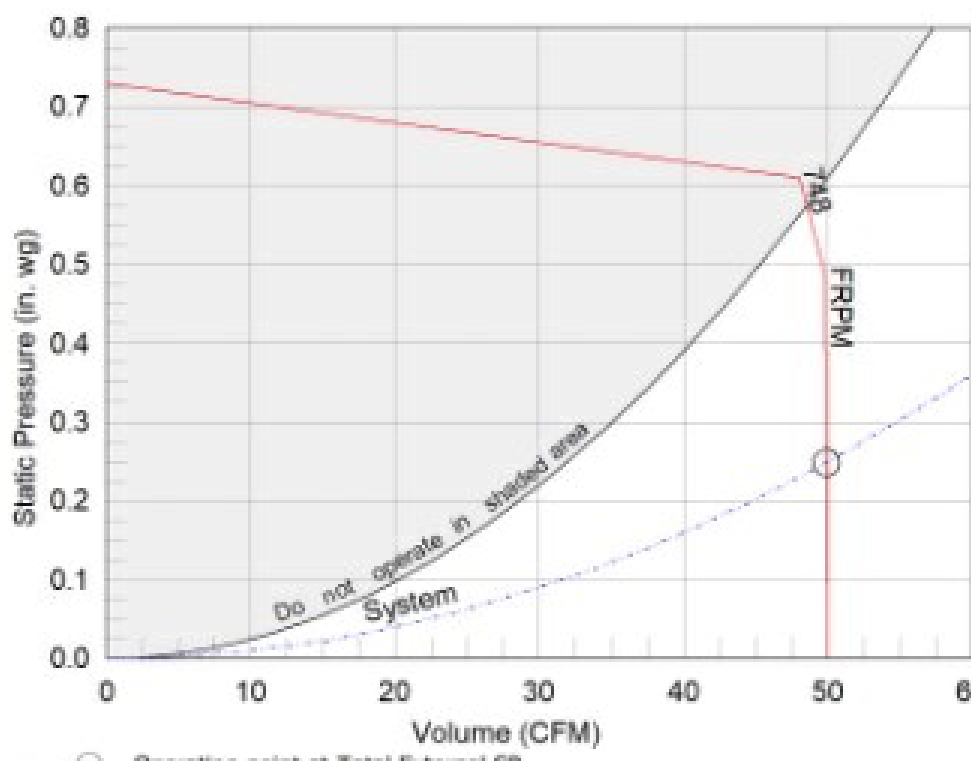
| | |
|-----------------------|---|
| Quantity | 2 |
| Weight w/o Acc's (lb) | 8 |
| Weight w/ Acc's (lb) | 8 |

Performance

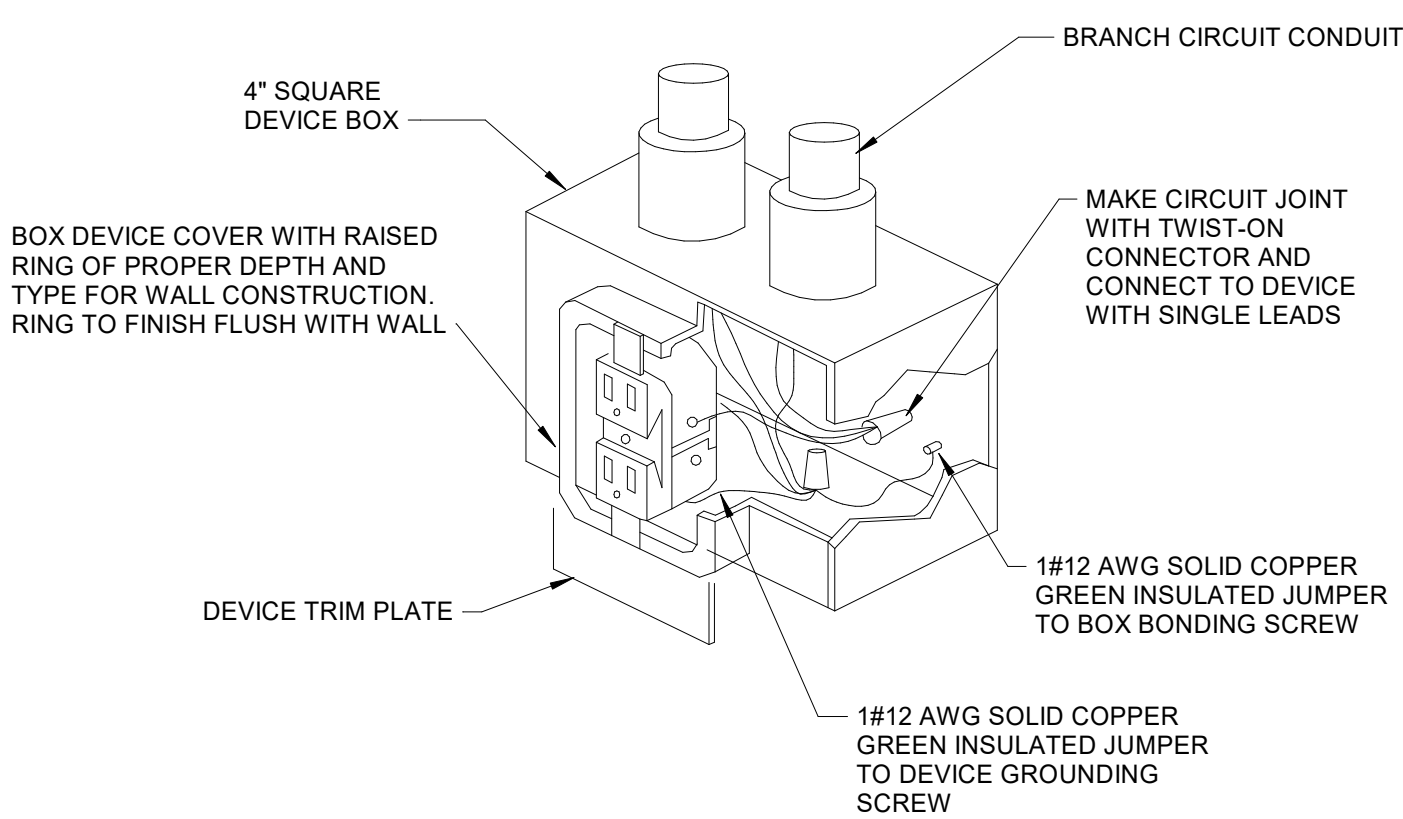
| | |
|----------------------------|-------|
| Requested Volume (CFM) | 50 |
| Actual Volume (CFM) | 50 |
| Total External SP (in. wg) | 0.249 |
| Fan RPM | 748 |
| * FLA (A) | 0.29 |
| Elevation (ft) | 768 |
| Airstream Temp (F) | 70 |
| Air Density (lb/ft3) | 0.073 |
| Sones | 0.5 |

Motor

| | |
|---------------------|----------|
| Motor Mounted | Yes |
| ** Input Watts (W) | 7 |
| Voltage/Cycle/Phase | 115/60/1 |
| Enclosure | TEAO |



Notes:
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1 RECEPTACLE GROUNDING DETAIL
E500 NOT TO SCALE

LITTLE

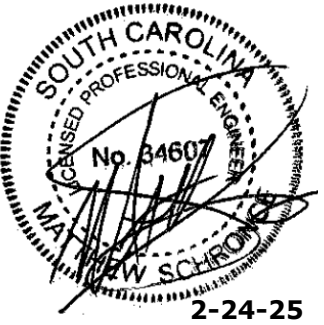
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| 1 | OSE Comments | 02.24.2025 |

PROJECT TEAM
PRINCIPAL IN CHARGE
D BAUS
PROJECT MANAGER
S KERSCHEN
DESIGN TEAM
SB, Matthew Schronce P.E.

Village Apartments Interior Renovation, FMU

OSE PROJECT NUMBER - H18-A095-SG

PROJECT NO.
4142197600

SHEET TITLE
ELECTRICAL DETAILS

SHEET NUMBER
E500

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